



AIRPORT LAND USE COMMISSION

FOR ORANGE COUNTY

3160 Airway Avenue • Costa Mesa, California 92626 • 949.252.5170 fax: 949.252.6012

AGENDA ITEM 2

March 20, 2025

TO: Commissioners/Alternates

FROM: Julie Fitch, Executive Officer

SUBJECT: City of Cypress Business Parks Modernization and Integration Project: Specific Plan Amendment, General Plan Amendment, and Zoning Ordinance Amendment

Background

The City of Cypress is adjacent to Joint Forces Training Base (JFTB) - Los Alamitos and is entirely within the Notification/Planning Area. In January 2022, the City submitted its 2021-2029 Housing Element Update for a consistency review and your Commission found it to be consistent with the *AELUP for JFTB-Los Alamitos*. The City Council approved the Housing Element Update (Scenario 3) which divided most of the required residential units between the Lincoln Avenue Specific Plan area and the Cypress Town Center and Commons (CTCC). The Housing Element also included a site on Katella adjacent to the CTCC area which was intended to be “upzoned” to 60 du/ac to accommodate an estimated 321 units. The remaining RHNA sites would be accommodated within the Lincoln Avenue Specific Plan.

Proposed Project

The City is proposing to combine five separate specific plans: PC1 Lusk-Cypress Industrial Park, PC2 Cypress Corporate Center Master Plan and associate Specific Plan, PC3 McDonnell Center, PBP Cypress Business and Professional Center Specific Plan, and PC5 Cypress View Limited Specific Plan, into a single Cypress Business Park Specific Plan. The City’s objective is to update and refine standards; maintain the regulatory frameworks; clarify and modernize terminology; and establish uniform entitlement and permitting requirements consistent with the Municipal Code. The Katella Avenue site would be designated as Mixed-Use Commercial/Residential (MUC/R) and would also be included in the High-Density Overlay allowing 60 units per acre. See Attachment 1 for the project location within the Notification Area for JFTB Los Alamitos.

The proposed project requires amendments to the Specific Plans, General Plan, and Zoning Ordinance. A Specific Plan Amendment is required to repeal the five Specific Plans and replace them with the new Cypress Business Park Specific Plan. A General Plan Amendment is required

to update the Land Use Element and Land Use Policy Map of the City's General Plan by removing references to the repealed specific plans and incorporating references to the new Cypress Business Park Specific Plan. A Zoning Ordinance Amendment is required to align land use definitions and parking requirements with the Cypress Business Park Specific Plan. Attachment 2 includes exhibits from the Draft Cypress Business Park Specific Plan depicting the existing land use designations, surrounding land uses, and proposed new land use designations (including a table listing permitted uses).

The City submitted the proposed project to ALUC on January 28, 2025, with a request to be placed on the February 20, 2025, ALUC agenda. In response to a request from ALUC staff, the City clarified project locations and added language regarding height limitations on February 27, 2025. The submittal was deemed complete on March 10, 2025. The City of Cypress does not have a Planning Commission and has tentatively scheduled a March 24, 2025, City Council Public Hearing.

AEUP for JFTB - Los Alamitos Issues

Regarding Aircraft Noise Impacts

Parts of the proposed Cypress Business Parks Specific Plan area are located within the 60 and 65 dBA CNEL for JFTB Los Alamitos is shown on Attachment 3. The areas located within the 65 dBA CNEL, are currently designated for, and in commercial, office, and business park uses. Those areas will remain largely unchanged with similar land use designations that exclude residential. The areas within the 60 CNEL contour will also be redesignated mainly as Business Park, Commercial and Professional Office, with the exception of the area on Katella Avenue west of Winners Circle. One site is currently designated and will remain as Mixed-Use/Residential, with part of it being included in the High-Density Overlay of 60 units/acre. A site adjacent to, and west of that site, is currently designated as Professional Office and Hotel, and would be designated as Mixed-Use Commercial/Residential with a High-Density Overlay. As stated above, these sites are shown in Attachment 2.

The sites on Katella Avenue included in the High-Density Overlay were also included in the 2021-2029 Housing Element Update which your Commission found to be consistent with the *AEUP for JFTB-Los Alamitos*. The area to the south of this property is within the City of Los Alamitos and in residential use as shown in Attachment 4.

The Cypress Noise Element contains policies related to noise-sensitive uses in the 60 CNEL contour, and states that projects may require mitigation to meet City and/or State (Title 24) standards. It states that "a site- and project-specific study will be necessary to determine what kinds of mitigation will make the interior building environment acceptable for the given type of land use." The Noise Element also states that the City will, "Coordinate all land use planning and design efforts in the environs of Joint Forces Training Center (JFTC) Los Alamitos to be consistent with noise levels for the airport. Noise sensitive land uses should be prohibited inside the 65 CNEL contour projected for the airport and all noise sensitive land uses inside the 60 CNEL contour should be designed to mitigate airport noise."

The *AELUP for JFTB Los Alamitos* states that residential uses within the 60 dB CNEL/Noise Impact Zone 2 is “Normally Consistent,” but that the “noise impact in this area is sufficient to require sound attenuation as set forth in the California Noise Insulation Standards, Title 25, California Code of Regulations.” The Commission strongly recommends that residential units be limited or excluded from this area unless sufficiently sound attenuated. The AELUP states, “the residential use interior sound attenuation requirement shall be a CNEL value not exceeding an interior level of 45 dBA. In addition, it is recommended that all designated outdoor common or recreational areas within Noise Impact Zone 2 provide outdoor signage informing the public of the presence of operating aircraft.”

Regarding Height Restrictions

The Project area is within the Notification Area and the Federal Aviation Regulations (FAR) Part 77 Obstruction Imaginary Surfaces for JFTB Los Alamitos. The Notification Area for JFTB Los Alamitos would be penetrated at as low as 57 feet for some of the Project Area. As shown on Attachment 5, most of the Project area is located within the horizontal surfaces which would be penetrated at 182.4 feet AMSL. Parts of the Project area are under the 50:1 approach surface which would be penetrated at 80 feet AMSL. For the areas east of Walker Street, a maximum allowable height of 55’ and a ground elevation of approximately 30’, would have potential to penetrate the Obstruction Imaginary Surfaces. The City has submitted revised language on pages 26 and 29 (date-stamped February 27, 2025, by ALUC) of the Draft Specific Plan stating:

“In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses.” And

“Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC.”

The areas west of Walker street currently have and will continue to have a 99’ maximum building height. With an approximate ground elevation of approximately 30 feet, the maximum height of 99 feet would not penetrate the horizontal surfaces of 182.4 feet. Additional references to FAA and ALUC review of height are included on page 56 of the Draft Specific Plan, as well as in the Safety Element of the General Plan. (See Attachment 6).

Regarding Safety

JFTB Los Alamitos has established Clear Zones, also referred to as a Runway Protection Zones, located at each end of the runway (shown on Attachment 3). The Clear Zones are trapezoidal areas that are used to enhance the protection of people and property on the ground. The Project area is outside of the Clear Zones and while the *AELUP for JFTB Los Alamitos* does not require an evaluation of overflight, the JFTB Los Alamitos Flight Routes are shown in Attachment 7.

Regarding Heliports

The development of heliports is not proposed within the Cypress Business Parks Specific Plan area, therefore consistency with the *AEUP for Heliports* was not reviewed.

Conclusion

Attachment 8 to this report contains excerpts from the City’s February 27, 2025, and January 28, 2025, submittals for the Cypress Business Parks Modernization and Integration Project: Specific Plan Amendment, General Plan Amendment, and Zoning Ordinance Amendment. The Draft Cypress Business Parks Specific Plan is included with the exception of pages 59 and 62-72 which included images of plants.

ALUC staff has reviewed this project with respect to compliance with the *AEUP for JFTB Los Alamitos*, including review of noise, height and safety.

Recommendation

That the Commission find the proposed City of Cypress Business Parks Modernization and Integration Project: Specific Plan Amendment, General Plan Amendment, and Zoning Ordinance Amendment to be consistent with the *AEUP for JFTB Los Alamitos*. With the following conditions:

1. That the Cypress Business Park Specific Plan incorporates the revised pages 26 and 29 received by ALUC on February 27, 2025 (as included in the ALUC staff report).
2. That the City include the following language in the Cypress Business Park Specific Plan: “In compliance with Section 3.2.4 of the *AEUP for JFTB Los Alamitos*, the noise impact of residential uses within the 60 dB CNEL/Noise Impact Zone 2 is sufficient to require sound attenuation as set forth in the California Noise Insulation Standards, Title 25, California Code of Regulations.” The residential use interior sound attenuation requirement shall be a CNEL value not exceeding an interior level of 45 dBA. In addition, all designated outdoor common or recreational areas within Noise Impact Zone 2 must provide outdoor signage informing the public of the presence of operating aircraft.”

Respectfully submitted,

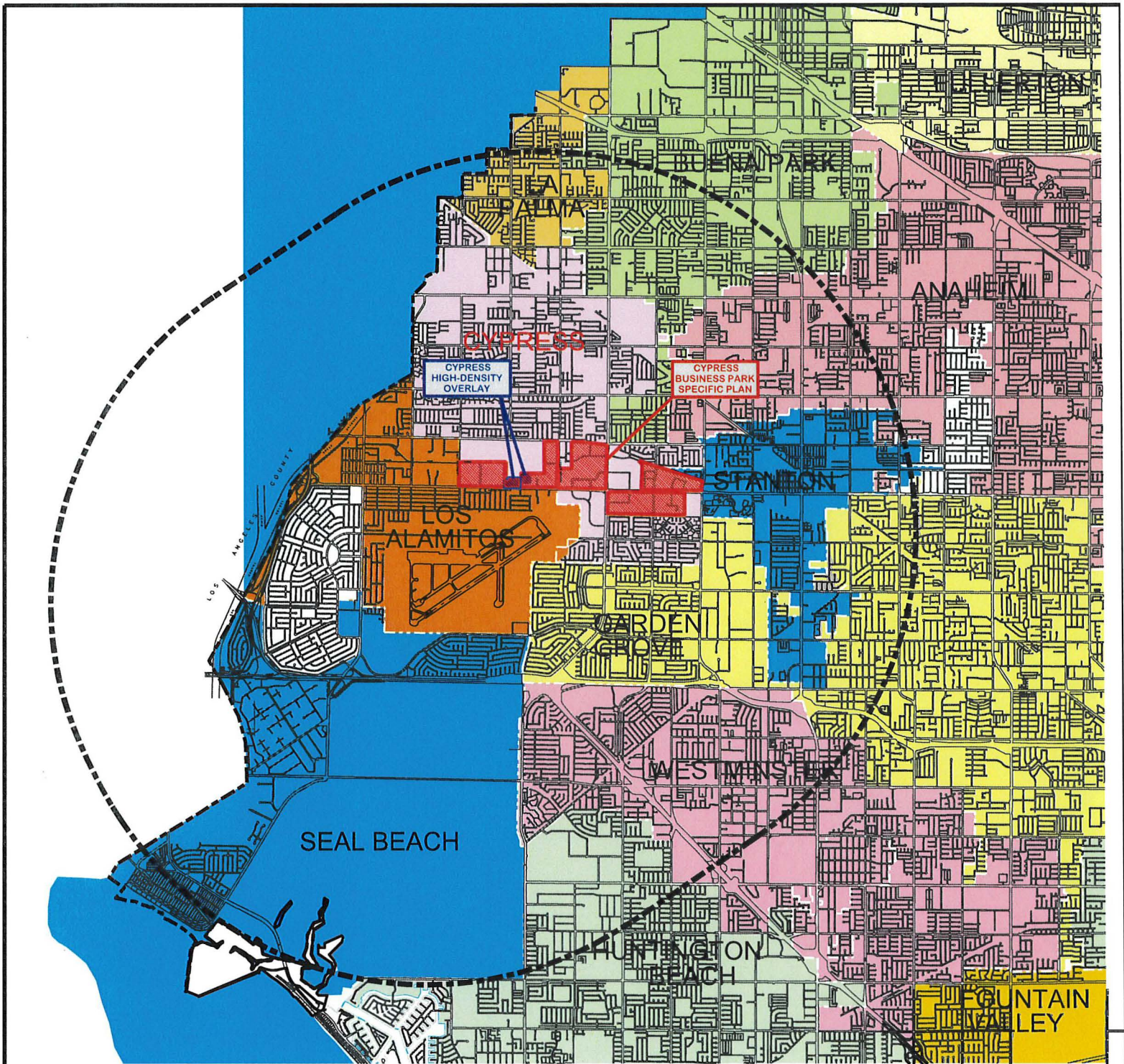


Julie Fitch
Executive Officer

Attachments:

1. Notification Area for JFTB Los Alamitos
2. Existing, Surrounding, and Proposed Land Uses
3. Impact Zones/Noise Contours for JFTB Los Alamitos
4. Google Earth Image of High-Density Overlay and Surrounding Area
5. JFTB Obstruction Imaginary Surfaces
6. Cypress Safety Policies
7. JFTB Los Alamitos Flight Routes
8. Excerpts from the City of Cypress Submittals Received 2/27/25 and 1/28/25

AELUP Notification Area for JFTB



Note: County Unincorporated areas are shown in white.

FAR PART 77

Notification Area for JFTB Los Alamitos: 20,000' Radius at 100:1 Slope



LEGEND

- 20,000' Radius
- CITY BOUNDARIES

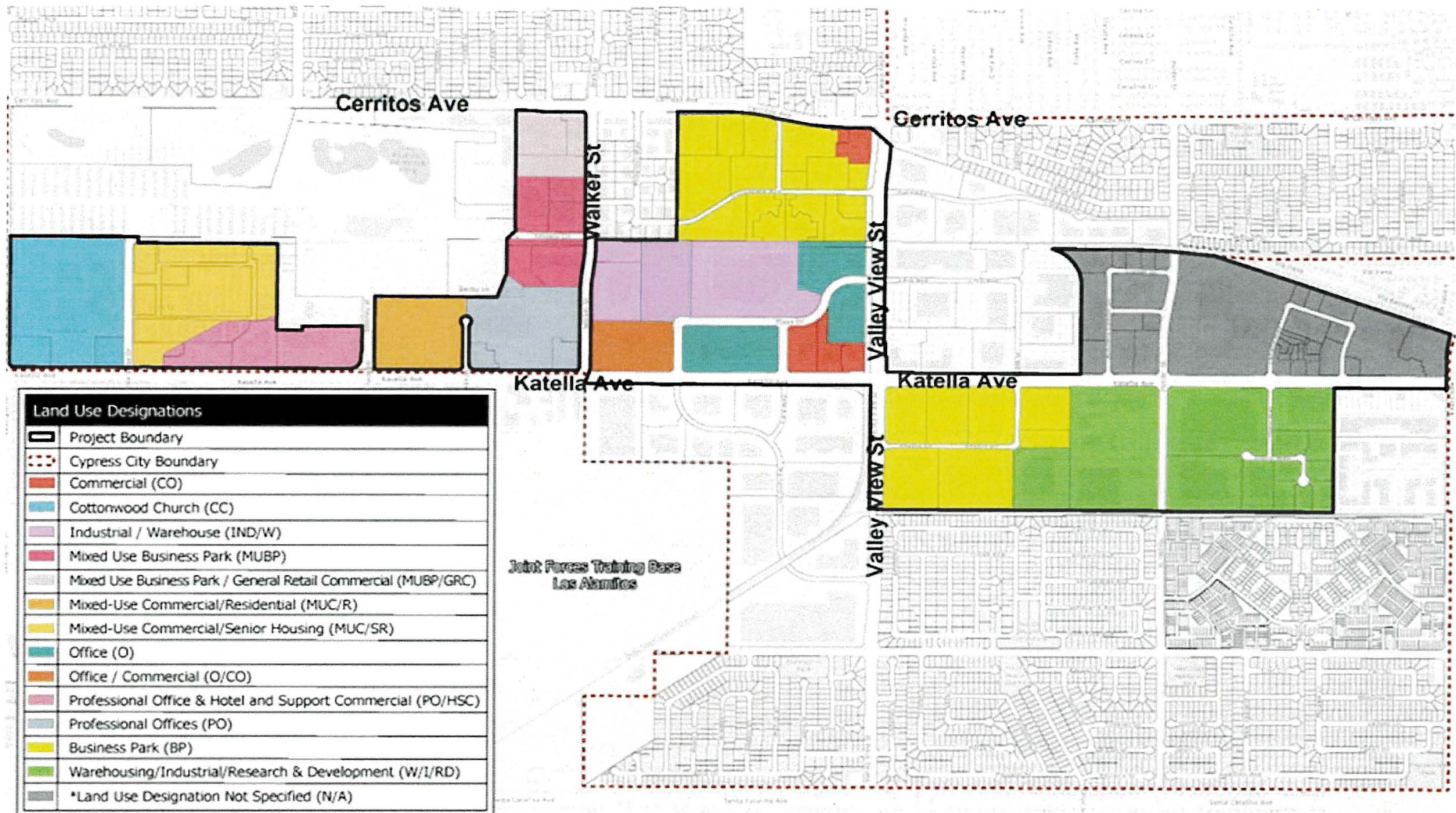
CERTIFICATION

Adopted by the Airport Land Use Commission for Orange County

ATTACHMENT 1

Karl Blum, Executive Director

Date

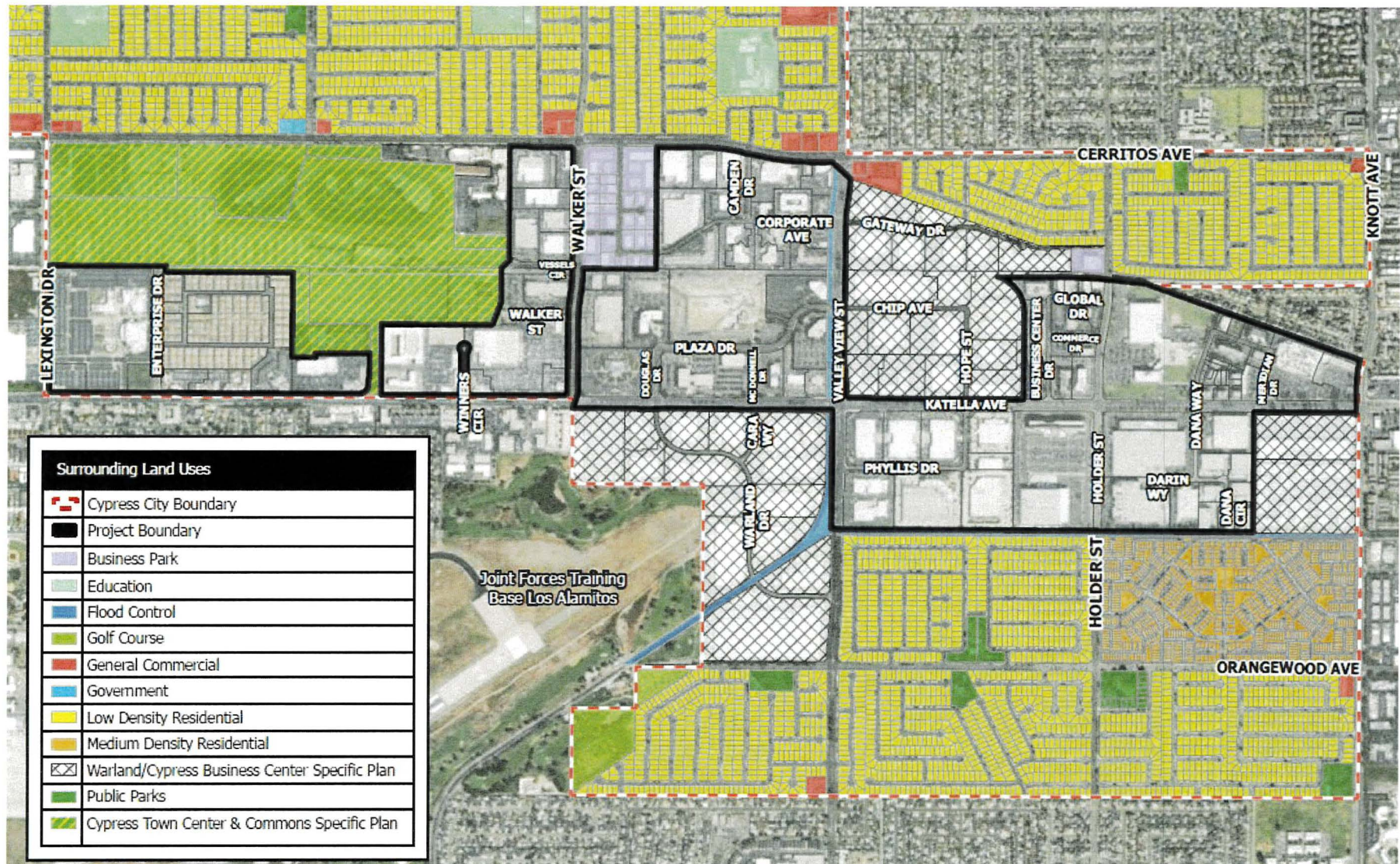


2-1

LAND USE DESIGNATIONS PRIOR TO THE ADOPTION OF THE CBPSP

Cypress Business Park Specific Plan (CBPSP)

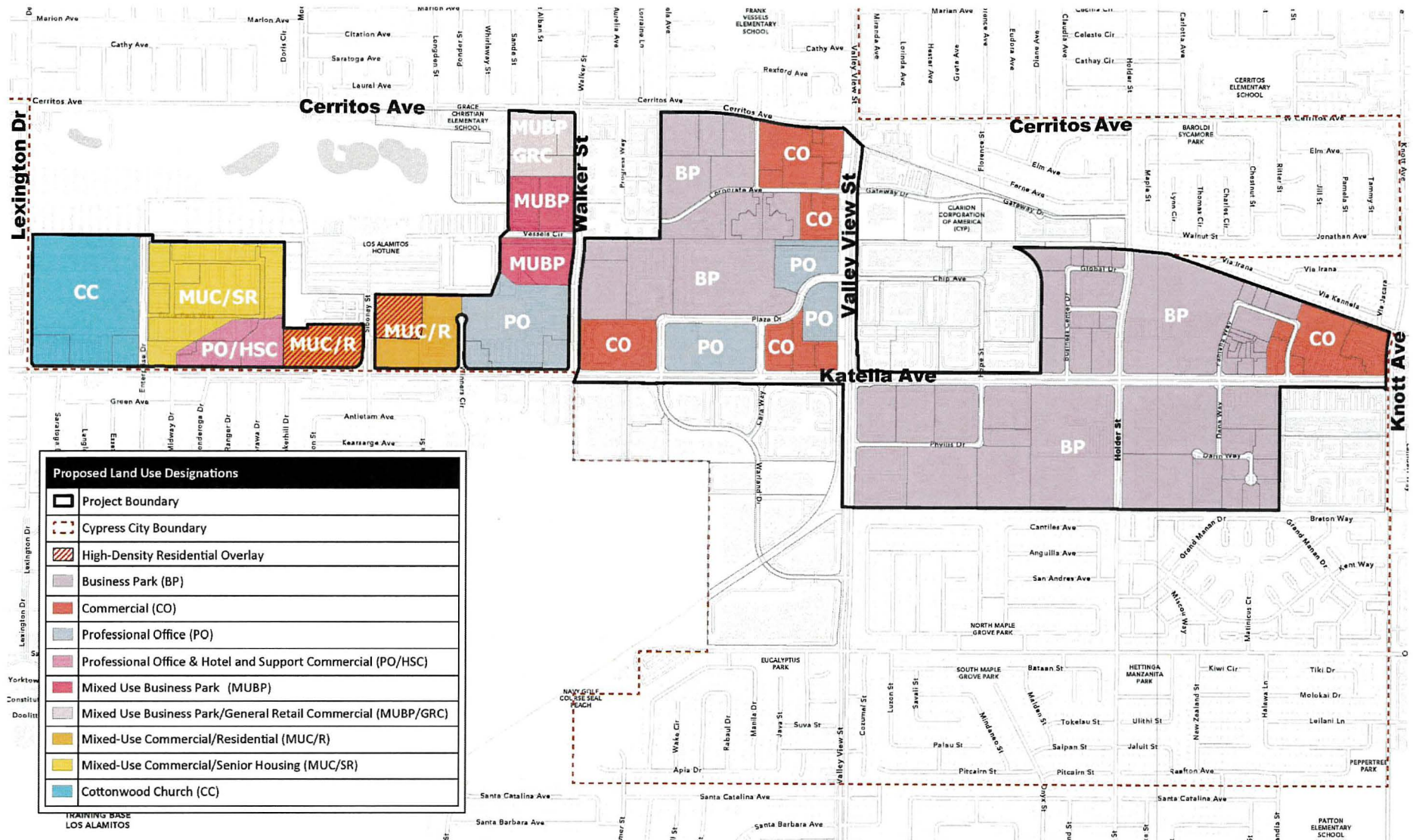
ATTACHMENT 2



SURROUNDING LAND USES

2-2

Cypress Business Park Specific Plan (CBPSP)



4-1

SPECIFIC PLAN LAND USE MAP

Cypress Business Park Specific Plan (CBPSP)

4.2.2 Land Uses and Permit Requirements

The Permitted Use Table outlines four land use types: Permitted Uses ("P"), Conditional Uses ("C"), Prohibited Uses ("-"), and Uses Requiring Planning Director Approval ("PD"). See Section 31 of the Cypress Zoning Ordinance for definitions. The Planning Director is authorized to make administrative determinations and interpretations regarding land uses, which may be appealed to the City Council.

Table 4.2.2 – Permitted Use Table

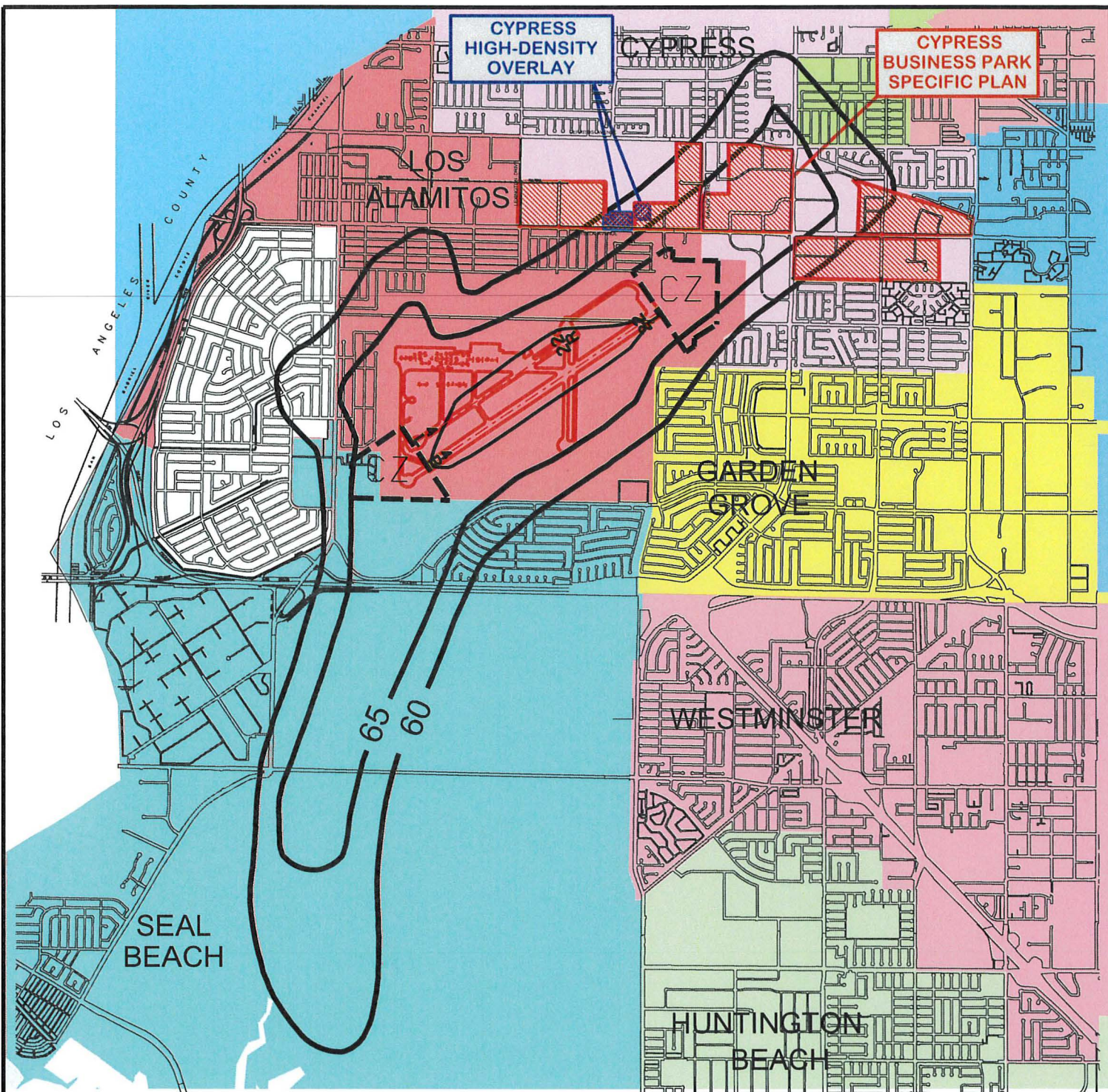
Permitted Use	BP (1)	CO	PO (2) (3)	PO/HSC (2) (3)	MUBP (2) (3)	MUBP/GRC (2) (3) (4)	MUC/R (2) (5)	HDR Overlay (2) (5)	MUC/SR (2)	CC (2)
Professional Office Uses										
Medical, Dental, Veterinary and Related Health Services	P	P	P	P	P	P	P	P	P	(2)
Professional and Administrative Offices	P	P	P	P	P	P	P	P	P	
Distribution Center	C	-	-	-	C	-	-	-	-	-
Industrial Park Uses										
Light Manufacturing, General Assembly, and Food & Beverage Facilities	P	-	-	-	P	P	-	-	-	-
Machine Shop and Machinery Manufacturing	P	-	-	-	P	P	-	-	-	-
Public Utility, Public Works, Postal, and Support Facilities	C	P	C	C	C	C	C	C	C	(2)
Repair and Maintenance, Consumer Products	P	-	-	P	P	P	-	-	-	-
Research and Development (R&D)	P	-	-	P	P	P	-	-	-	-
Indoor Storage Facilities	P	-	-	-	C	C	-	-	-	-
Warehouse	P	-	-	-	C	C	-	-	-	-
Commercial Uses										
Automotive Sales and Services	-	-	-	P ⁽⁹⁾	C	C	C	C	C	-
Bars/Liquor Establishments (On-Site Consumption)	-	C	-	C	C	C	C	C	C	-
Catering and Related Services	-	-	-	C	C	C	C	C	C	-
Retail Stores, General Merchandise	(6)	P ^{(7) (8)}	-	P ⁽⁹⁾	-	P ⁽⁸⁾	P	P	P	-
Gasoline Service Station	-	C	C	C	C	C	C	C	C	-
Health/Fitness Centers	C	C	-	C	C	C	C	C	C	-
Hotels/Motels	C	C	-	C	-	C	C	C	C	-
Indoor Amusement, Entertainment Facility, and Related Services	-	-	-	C	C	C	C	C	C	-
Personal Services, General	-	P	-	P ⁽⁹⁾	-	P	P	P	P	-

Permitted Use	BP (1)	CO	PO (2) (3)	PO/HSC (2) (3)	MUBP (2) (3)	MUBP/GRC (2) (3) (4)	MUC/R (2) (5)	HDR Overlay (2) (5)	MUC/SR (2)	CC (2)
Restaurant without Alcohol Sales	P	P	P	P	P	P	P	P	P	-
Restaurant with Alcohol Sales	C	C	C	C	C	C	C	C	C	-
Restaurant with Drive-Thru	-	C	C	C	C	C	C	C	C	-
Restaurant with Outdoor Seating	P ⁽⁸⁾	P	P	P	P	P	P	P	P	-
Restaurant with Playland	P	P	P	P	P	P	P	P	P	-
Restaurant, Take-Out	P ⁽⁸⁾	P	C	C	P	P	P	P	P	-
Shopping Center	-	C	-	-	-	C	C	C	C	-
Storage Yards (Public)	-	-	-	-	-	-	-	-	-	-
Small Animal Hospitals and Animal Boarding	-	-	C	C	C	C	P	P	P	-
Public/Institutional Uses										
Child Day Care and Related Services	C ⁽¹⁰⁾	C	C	C	C	C	C	C	C	(2)
Conference Facilities, Theaters, Auditoriums, and Other Public Assembly	-	C	-	P ⁽⁹⁾	C	C	C	C	C	(2)
Educational Institutions, Trade Schools, Other Private Schools	C	C	C	C	C	C	C	C	C	(2)
Residential Uses										
Accessory Uses (Pool/spa, fitness rooms, business centers, leasing offices)	-	-	-	-	-	-	P	P	P	-
Accessory Dwelling Units	-	-	-	-	-	-	P	P	P	-
Assisted living facilities	-	-	-	-	-	-	C	C	P	-
Senior Housing	-	-	-	-	-	-	P	P	P	(2)
Single-Family Dwellings	-	-	-	-	-	-	P	P	P	-
Condominiums/town houses	-	-	-	-	-	-	P	P	P	-
Multi-family dwelling units	-	-	-	-	-	-	P	P	P	-
Home Occupations	-	-	-	-	-	-	P	P	P	-
Caretaker/employee housing	-	-	-	-	-	-	-	-	P	-
Other Uses										
Stand Alone Parking Lots and Parking Structures	C	C	C	C	C	C	C	C	C	-
Uses similar with the intent of the district as determined by the Planning Director	PD	PD	PD	PD	PD	PD	PD	PD	PD	PD

Notes:

- ⁽¹⁾ To ensure that the quality of living is maintained in the residential neighborhood south of the Stanton Storm Channel, development adjacent to the channel shall be limited to warehouse/research and development uses, which will serve to minimize light, glare, noise, vehicle emissions, and obstruction of views.
- ⁽²⁾ In addition to the permitted uses listed in this column, all permitted land uses within the PS-1A (Public and Semi-Public) zoning district, as identified in Table 2-15 of Section 2.08.030 of the Cypress Zoning Ordinance, shall also be permitted on property located west of Walker Street, subject to the applicable permit requirements listed therein.
- ⁽³⁾ In addition to the permitted uses listed in this column, all conditionally permitted land uses in Table 2-11 of Section 2.07.030 of the Cypress Zoning Ordinance, shall also be conditionally permitted on property located west of Walker Street.
- ⁽⁴⁾ In addition to the permitted uses listed in this column, all permitted land uses (except for Residential uses) within the CG (Commercial General) zoning district, as identified in Table 2-6 of Section 2.06.030 of the Cypress Zoning Ordinance, shall also be permitted, subject to the applicable permit requirements listed therein.
- ⁽⁵⁾ In addition to the permitted uses listed in this column, all permitted land uses within the RM-20 (Multiple Family) zoning district, as identified in Table 2-2 of Section 2.05.030 of the Cypress Zoning Ordinance, shall also be permitted, subject to the applicable permit requirements listed therein.
- ⁽⁶⁾ Only permitted as an accessory use on the same site as a permitted use within the BP land use designation.
- ⁽⁷⁾ Only permitted within shopping centers and strip malls with at least 15,000 square feet.
- ⁽⁸⁾ Stand-alone uses that are not within a shopping center require a Conditional Use Permit.
- ⁽⁹⁾ Use shall be integrated into a hotel facility.
- ⁽¹⁰⁾ Permitted only as ancillary to office uses.

**** All uses shall be conducted within a completely enclosed building, except for temporary uses. Temporary uses shall be permitted throughout the CBPSP pursuant to Section 4.19.040 of the Cypress Zoning Ordinance.**



Note: County Unincorporated areas are shown in white.

Los Alamitos Impact Zones

Joint Forces Training Base



LEGEND

- 60— CNEL CONTOUR
- — — RUNWAY PROTECTION ZONE
- · — · — CITY BOUNDARIES

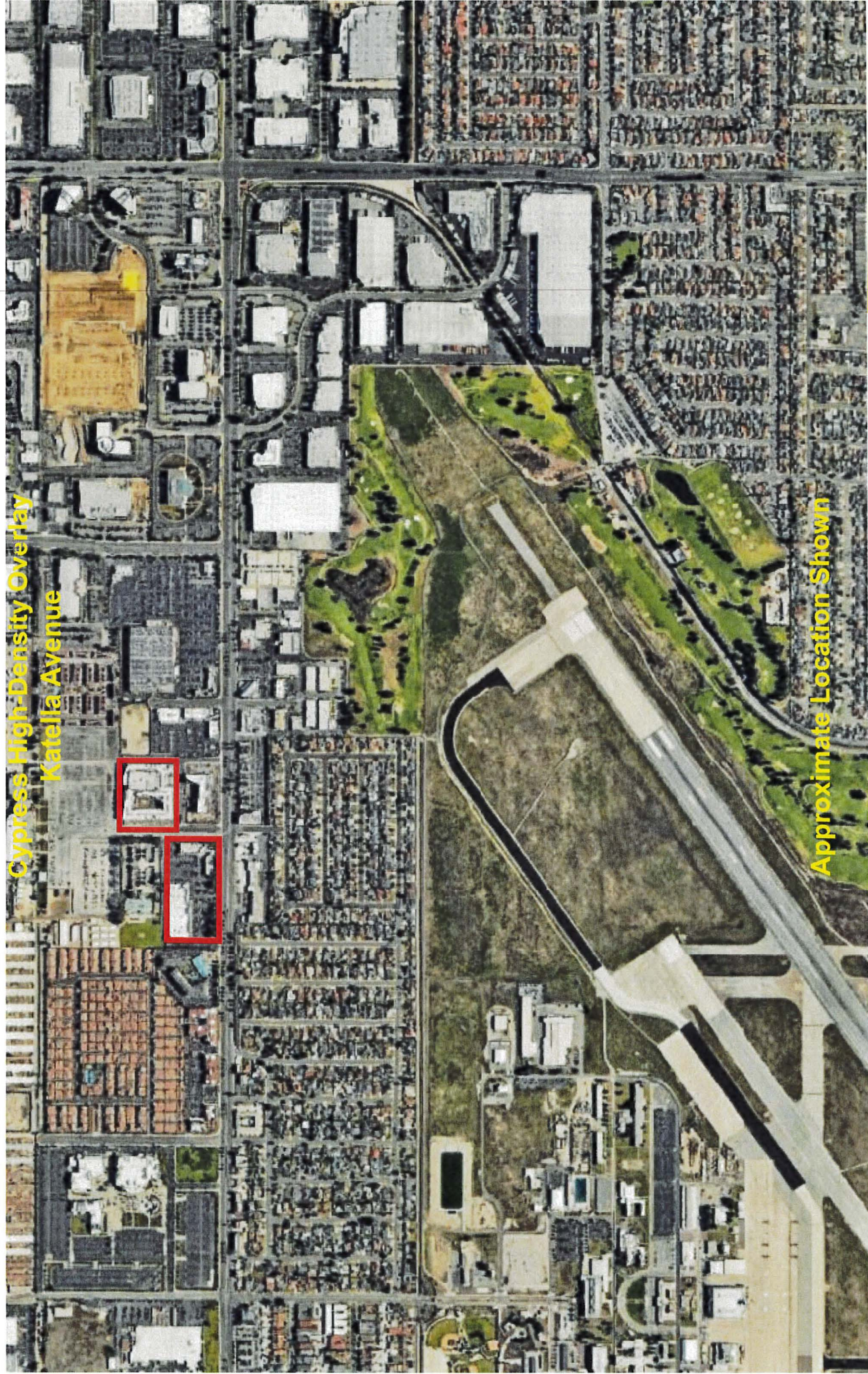
CERTIFICATION

Adopted by the Airport Land Use Commission for Orange County

ATTACHMENT 3

Kari Rigdon, Executive Officer

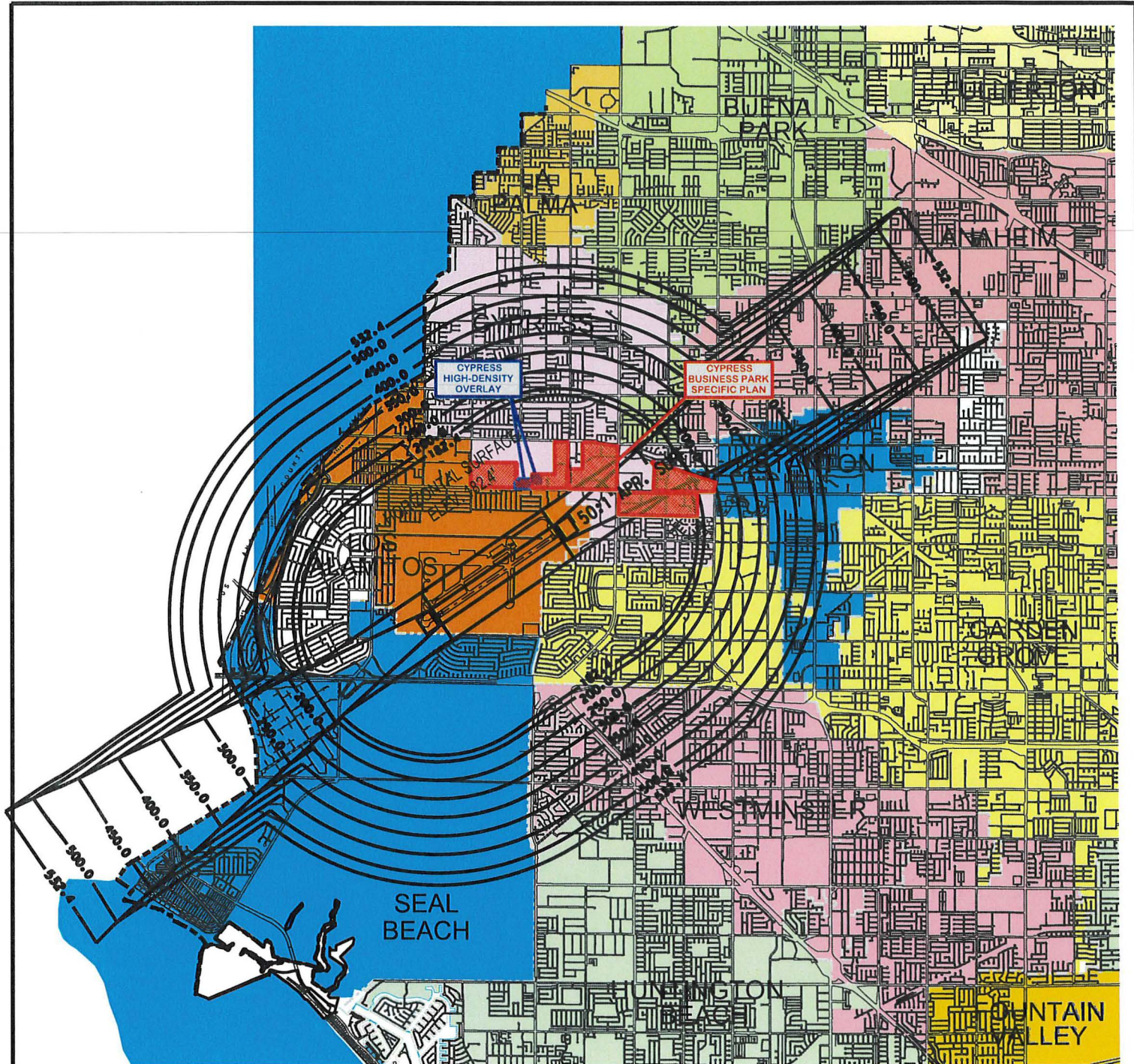
Date



Cypress High-Density Overlay
Katella Avenue

Approximate Location Shown

AELUP Height Restriction Zone for JFTB, Los Alamitos



Note: County Unincorporated areas are shown in white.

FAR PART 77

JFTB, Los Alamitos Obstruction Imaginary Surfaces



LEGEND

- 20,000' Radius
- CITY BOUNDARIES

CERTIFICATION

Approved by the Airport and Urban Commission for Orange County

ATTACHMENT 5

Karl Ripart, Executive Officer

Date

Community Identity and Control. The design of physical space can augment community identity and control. Visibility alone is not enough; there must be a reason before a person will challenge inappropriate behavior. If a person feels he/she has a stake in a neighborhood or community, there is ample reason to question the potentially unlawful behavior of others.

The use of design in the physical planning process can encourage residents to assert a psychological identity over their immediate neighborhood; and thus to deter crime by reducing the opportunity for unlawful activity. Strongly defined areas of influence, real and psychological barriers, and improved opportunities for surveillance can assist a community in exerting a meaningful level of crime prevention and control by its residents.

RELATED PLANS AND PROGRAMS

A number of plans and programs contain information that relates to the City of Cypress Safety Element. A brief synopsis of relevant documents is provided below.

CYPRESS DISASTER PLAN

The Cypress Disaster Plan serves as the community's Emergency Operations Plan (EOP), which provides guidance during emergency situations associated with natural disasters, technological incidents, and nuclear defense operations. The Plan does not address normal day-to-day emergencies or the well-established and routine procedures used in coping with such emergencies. Rather, this EOP analyzes potential large scale disasters that require a coordinated and immediate response.

Aid during these unique emergency situations is available within the local government structure and associated agencies. The EOP identifies key personnel and groups in the Cypress Emergency Management Organization that are organized to protect life and property in the community. The Plan also identifies sources of outside support that might be provided through mutual aid by other jurisdictions, state and federal agencies, and the private sector.

COUNTY OF ORANGE HAZARDOUS WASTE MANAGEMENT PLAN

Current government responsibilities for hazardous waste management are divided among federal, state, and local levels. The Orange County Hazardous Waste Management Plan, adopted in 1989, addresses those issues having local responsibilities and involvement. However, both state and local policies for controlling emergencies are outlined.

The County's Plan sets forth a comprehensive local hazardous waste strategy. Several components comprise this strategy, including:

- Current and future hazardous generation and management needs in Orange County;
- Framework for the development of facilities to manage hazardous waste; and
- Policy direction toward developing county-wide programs for waste-reduction and household and small quantity business hazardous waste collection.

AIRPORT ENVIRONS LAND USE PLAN (AELUP)

The Airport Land Use Commission (ALUC) is the agency charged by the State with the responsibility of formulating a comprehensive airport land use plan for the anticipated growth of each public use airport and its environs. The purpose of the airport land use plan is to safeguard

the general welfare of the inhabitants within the vicinities of airports and to ensure the continued operation of the airports.

The Airport Land Use Commission for Orange County has adopted the Airport Environs Land Use Plan (AELUP), amended November 16, 1995, which includes the Joint Forces Training Center (JFTC) Los Alamitos.

City and County General Plans must be consistent with the AELUP unless specific findings can be made by the local legislative body. State law grants review powers to the Airport Land Use Commission (ALUC) involving the following actions of local agencies within the planning boundaries of the ALUC:

- Amendments of a City's General Plan;
- Amendments of a City's Specific Plan;
- Adoption of Zoning Ordinances; and
- Adoption of Building Regulations.

Prior to amending a General Plan or Specific Plan, the involved locality must submit the proposal to the ALUC for review. ALUC review does not, however, include other applications, including, but not limited to, conditional use permits, variances, subdivision or parcel maps, and site plan approvals.

In terms of assessing consistency between local General Plans and the AELUP, the County focuses on the following three areas: noise, safety and building height. The updated Cypress Noise and Safety Elements address these issues; building height is also examined in the Cypress Zoning Ordinance and Specific Plans. The following building criteria are utilized as part of the County's AELUP consistency review procedures:

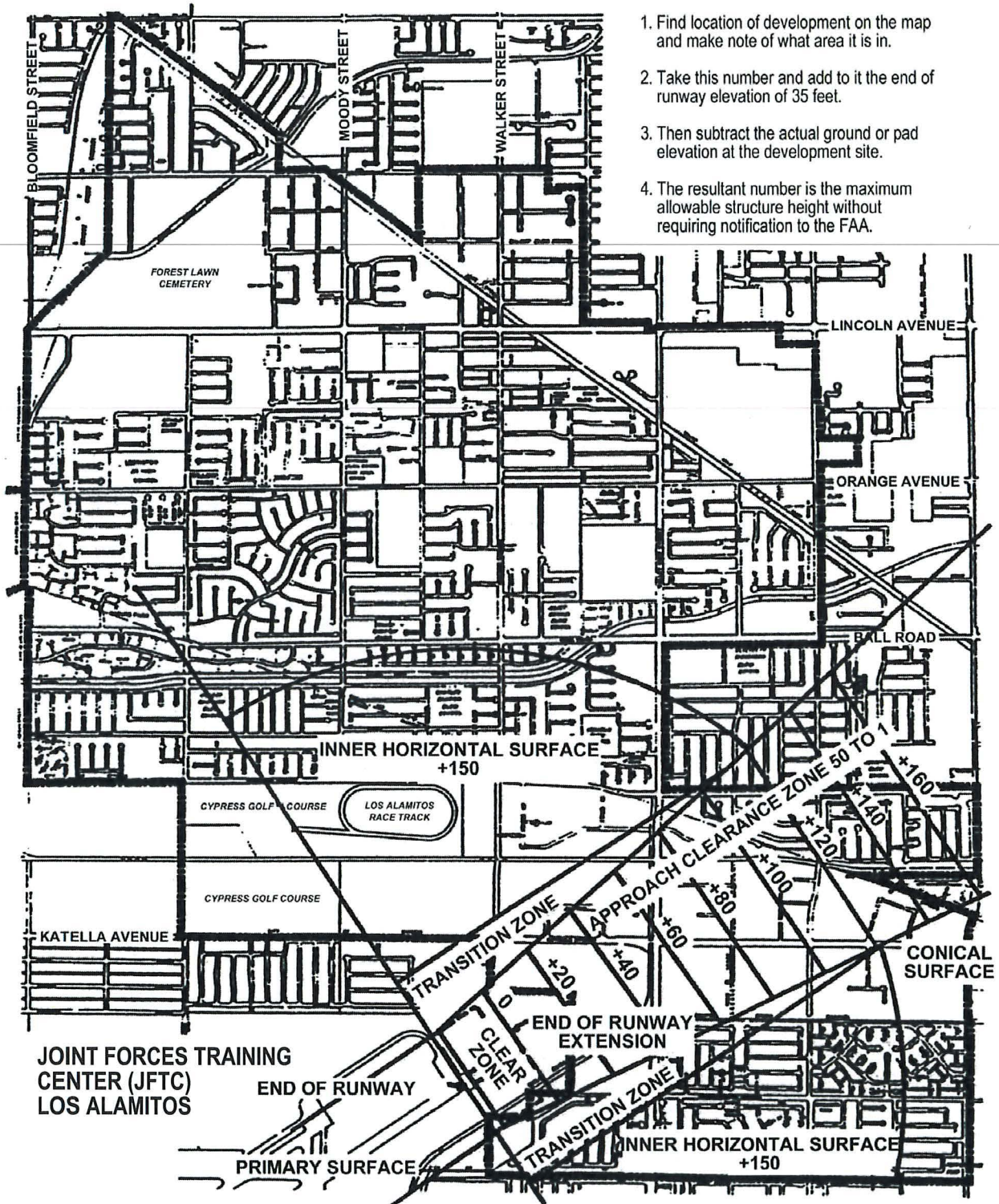
- Does the Agency have a map or other graphic that depicts imaginary surfaces for the airports that impact the City?
- Are there policies in the General Plan which reference FAA studies and clearances?

Aircraft Overflight

The Joint Forces Training Center (JFTC) Los Alamitos is located in western Orange County within the City of Los Alamitos. On-site facilities include two runways and associated taxiways, ramp space, and hangars. The JFTC is primarily utilized for helicopter training missions. A portion of the City of Cypress lies within the prevailing approach path of the Army Airfield located at the JFTC Los Alamitos. This portion of Cypress is primarily composed of business park facilities. Specific land use regulations regarding FAA notification imaginary surfaces, aircraft noise, and building heights have been implemented (refer to Exhibit SAF-7, *FAA 100:1 Notification Imaginary Surfaces*, SAF-8, *Joint Forces Training Center (JFTC) Los Alamitos Impact Zones*, and SAF-9, *Building Height Restrictions, 50 to 1 Clearance Surface*).

SEISMIC HAZARDS MAPPING ACT

The Seismic Hazards Mapping Act requires the Division of Mines and Geology to delineate areas of high potential ground shaking, liquefaction, earthquake-induced landslides, and other ground failures.



1. Find location of development on the map and make note of what area it is in.
2. Take this number and add to it the end of runway elevation of 35 feet.
3. Then subtract the actual ground or pad elevation at the development site.
4. The resultant number is the maximum allowable structure height without requiring notification to the FAA.

Source: City of Cypress 1993 General Plan; Airport Environs Land Use Plan, November 1995, Airport Land Use Commission for Orange County.

Not to Scale



CITY OF CYPRESS GENERAL PLAN Building Height Restrictions, 50 to 1 Clearance Surface

Ensure through the development review process that new development will not result in reduced emergency service levels.

SAF-6.2: Maintain a response time of approximately three minutes for emergency calls and six minutes for non-emergency calls.

SAF-6.3: Enhance public awareness and participation in crime prevention. Develop new and expand existing educational programs dealing with personal safety awareness.

SAF-6.4: Continue to support citizen programs that fight crime and promote citizen involvement, such as Citizens Emergency Response Team and DARE.

SAF-7: Use good design as a means to promote human safety.

SAF-7.1 Provide design criteria in the Zoning Ordinance or design guidelines relating to the prevention of crime prevention through appropriate physical design solutions.

SAF-7.2: Use good design to promote safety for residents, employees and visitors to the City.

SAF-7.3: Provide exterior lighting that enhances safety and night use in public spaces, but minimizes impacts on surrounding land uses.

SAF-7.4: Promote the use of defensible space (e.g., site and building lighting, visual observation of open spaces, secured areas) in project design to enhance public safety.

AIRCRAFT OVERFLIGHT

SAF-8: Protect Cypress residents from air operation accidents.

SAF-8.1: Limit development height within the flight approach to the Joint Forces Training Center (JFTC) Los Alamitos to minimize safety hazards to aircraft and protect the airfield.

SAF-8.2: Monitor legislation and regulations established by the Joint Forces Training Center (JFTC) Los Alamitos.

SAF-8.3 Establish an emergency response plan for aircraft incidents.

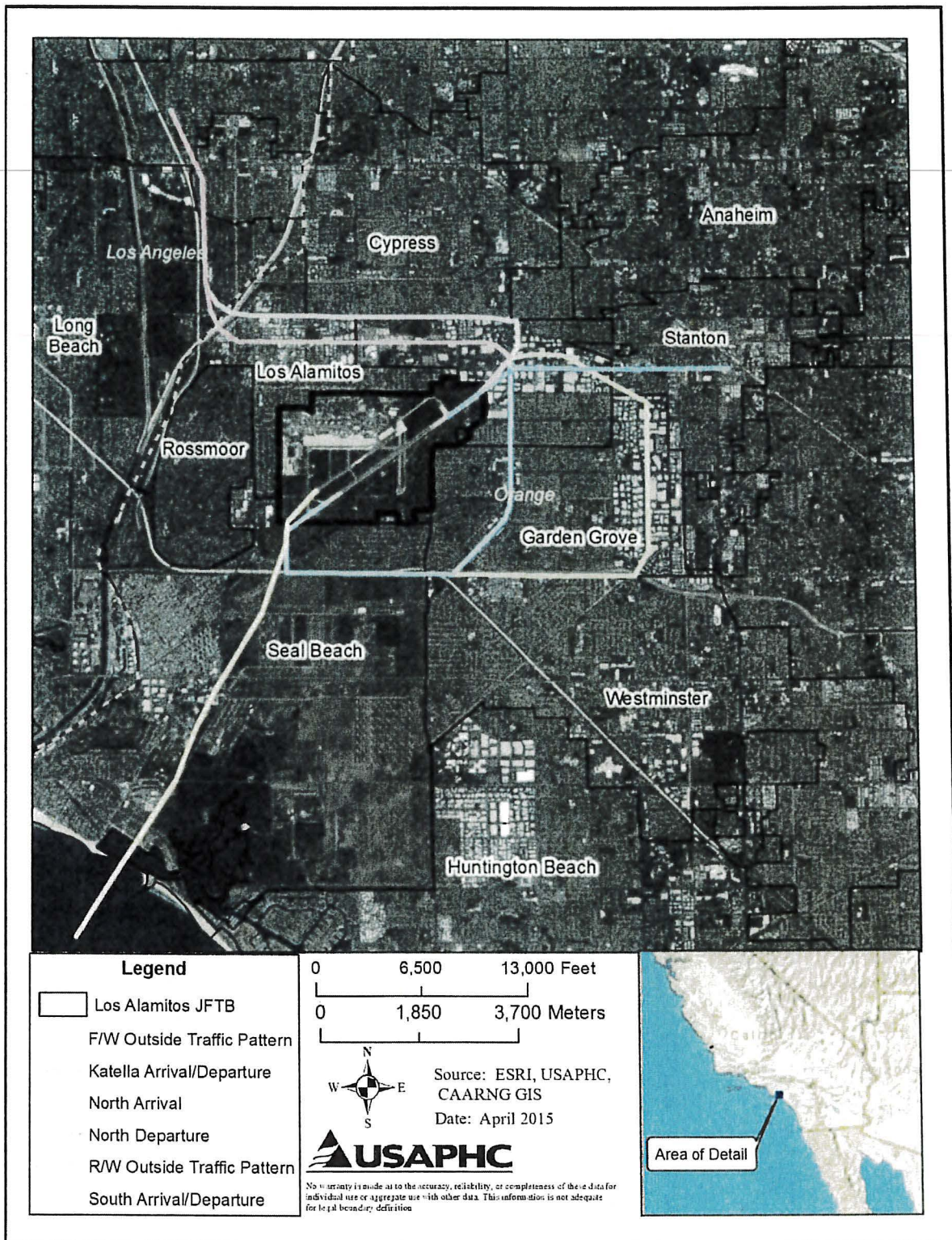


Figure 3-1. JFTB Los Alamitos Flight Routes



CITY of CYPRESS

5275 Orange Avenue, Cypress, California 90630

Phone 714-229-6700 www.cypressca.org

February 12, 2025

RECEIVED

Airport Land Use Commission
Attn: Julie Fitch, AICP, Executive Officer
3160 Airway Avenue
Costa Mesa, CA 92626

FEB 27 2025

AIRPORT LAND USE COMMISSION

Subject: Revisions to the ALUC Submittal Package for the City of Cypress Business Parks Modernization and Integration Project

Dear Julie Fitch,

Thank you for working with the City of Cypress to ensure a complete Airport Land Use Commission application submittal package. Pursuant to our phone call on February 11, 2025, several items required revisions, which have been addressed and are outlined below:

1. Revisions to the Cover Letter (Attachment 1)

- Figure 1 on Page 1 incorrectly identified the PC 5 Zone as "PC." This has been corrected.
- The five existing Specific Plans were previously numbered, which caused confusion. The numbers have been replaced with bullet points for clarity.

2. Revisions to Cypress Business Park Specific Plan Height Regulations (Attachments 2-3)

- Language has been updated in the footnotes on Pages 26 and 29 of the CBPSP to explicitly state that any proposed structure that would penetrate FAR Part 77 imaginary surfaces will be reviewed by ALUC on a case-by-case basis, which matches the provision in Section 1.4 of the AELUP for JFTB Los Alamitos.

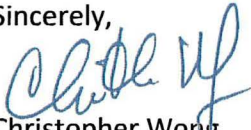
3. Revisions to Figures 1, 2, 3 (Attachments 3-5)

- Figure 1 (Locations of proposed new uses within the Notification Area/Planning Area for JFTB-Los Alamitos), Figure 2 (Locations of proposed new uses in relation to the AELUP Height Restriction Zone for JFTB-Los Alamitos), and Figure 3 (Locations of proposed new uses in relation to Impact Zones for JFTB-Los Alamitos) have been revised to accurately depict the boundaries of the CBPSP and the High-Density Residential Overlay Zone.

Thank you for your time and consideration of this request. Should you have any questions regarding this application, please contact me at (714) 229-6753 or cwong@cypressca.org.

ATTACHMENT 8

Sincerely,



Christopher Wong

Business Development Manager

City of Cypress, Community Development Department

Attachments:

1. Revised Cover Letter Page 1
2. Revised Cypress Business Park Specific Plan Pages 26 and 29
3. Tracked Changes to Cypress Business Park Specific Plan Pages 26 and 29
4. Revised Figure 1 – Locations of proposed new uses within the Notification Area/Planning Area for JFTB-Los Alamitos
5. Revised Figure 2 – Locations of proposed new uses in relation to the AELUP Height Restriction Zone for JFTB-Los Alamitos
6. Revised Figure 3 – Locations of proposed new uses in relation to Impact Zones for JFTB-Los Alamitos

David Burke, Mayor

Leo Medrano, Mayor Pro Tem
Scott Minikus, Council Member

Kyle Chang, Council Member
Bonnie Peat, Council Member

Table 4.3.1 – General Development Standards (East of Walker Street)

Development Feature	Development Standard	
	BP	CO, PO
Maximum Floor Area Ratio		1.0
Maximum Building Height ⁽¹⁾		55 ft
Minimum Front Yard and Street Side Yard Setbacks ⁽²⁾		
Adjacent to Camden Dr	–	15 ft
Adjacent to Cerritos Ave		40, 50, or 100 ft ⁽³⁾
Adjacent to Corporate Ave		15 ft
Adjacent to Douglas Dr	–	20 ft
Adjacent to Holder St	20 ft	–
Adjacent to Katella Ave		20 ft
Adjacent to a Local Street ⁽⁴⁾		15 ft
Adjacent to McDonnell Dr	–	20 ft
Adjacent to Plaza Dr		20 ft
Adjacent to Valley View St	0 ⁽⁵⁾ or 20 ft	0 ft ⁽⁵⁾
Adjacent to Knott Ave	–	20 ft
Adjacent to Walker St		30 ft ⁽⁶⁾
Minimum Interior Side Yard and Rear Yard Setbacks		
Adjacent to Business Park or Commercial Parcels		5 ft
Adjacent to Residential Uses		40 ft
Adjacent to Stanton Storm Channel	40 ft ⁽⁷⁾	–
Minimum Surface Parking Setback from a Street		10 ft
Minimum Parking Structure Setback from a Street		15 ft
Off-Street Parking ^{(8) (9) (10) (11)}	See CZO § 2.07.050 and § 14	See CZO § 2.06.050 and § 14

⁽¹⁾ In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details.

⁽²⁾ Raised planters not exceeding 3 feet in height shall observe an 18-inch setback from street frontage property lines. Raised planters over 3 feet in height, flag poles, and banner mounts shall observe the minimum surface parking setback requirement. In all cases, safe sight lines for pedestrian and vehicular traffic must be maintained.

⁽³⁾ Adjacent to Cerritos Ave, all buildings 40 feet in height or less shall provide a minimum setback of 40 feet. All buildings greater than 40 feet in height but less than or equal to 45 feet in height shall provide a minimum 50-foot setback. All buildings greater than 45 feet in height but less than or equal to 55 feet in height shall provide a minimum 100-foot setback.

⁽⁴⁾ Local Streets refer to the streets that are not identified as Major, Primary, or Secondary Roadways in the General Plan. This includes, but is not limited to: Phyllis Drive, Hope Street, Business Center Drive, Commerce Drive, Global Drive, Yamaha Way, International Avenue, Meridian Drive, and Corporate Avenue.

⁽⁵⁾ On the properties north of Katella Avenue and adjacent to Valley View Street, the building setback from the property line may be 0, since the 60-foot wide Bolsa Chica Channel separates the subject

site from the Valley View Street right-of-way. The channel is located underground, which allows landscaping, surface parking and access roads to be located over the channel, subject to the approval of the Orange County Flood Control District. The setback standards at this edge would provide a 68-foot building and parking structure setback (from curb), and a 38-foot surface parking setback (from curb), which would be landscaped.

⁽⁶⁾ Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.

⁽⁷⁾ Or a distance equal to the height of the building, whichever is greater.

⁽⁸⁾ As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.

⁽⁹⁾ Where driveways have been provided to permit access to the rear of a building, the minimum driveway width shall be 25 feet. Such driveway shall be maintained free and clear of any obstruction. Where a driveway is provided directly adjacent to the side of a building with openings, said driveway shall be increased to 30 feet.

⁽¹⁰⁾ At all driveway access locations along all roadways adequate sight distance shall be provided by avoiding the placement of structures, signs, landscaping, and other objects that would obstruct the vision of drivers. Determinations shall be made at the time of each development review.

⁽¹¹⁾ No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.

- (1) As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.
- (2) Accessory Dwelling Units: Refer to Section 3.17.200 (Accessory dwelling units) in the Cypress Zoning Ordinance for objective standards applicable to all accessory dwelling units.
- (3) Multi-Family Residential: Refer to Section 3.17.310 (Objective standards for multi-family dwellings) in the Cypress Zoning Ordinance for objective site planning and design standards applicable to all multi-family residential development.
- (4) Along a street frontage.
- (5) Site coverage, defined as the building-ground contact area divided by the total net lot area, shall not exceed 60% if surface parking is provided and 70% with parking structures providing all or part of the parking spaces.
- (6) The maximum allowable density within the MUC/SR land use designation shall be 20 du/ac, provided that an assisted living facility shall not be considered a multi-family dwelling and no portion of any such facility shall constitute a dwelling unit.
- (7) In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details.
- (8) Buildings adjacent to Cerritos Avenue shall not exceed 40 feet in height.
- (9) All buildings 45 feet in height or less shall have a minimum setback of 25 feet. All buildings greater than 45 feet in height but less than 85 feet in height shall have a minimum 100-foot setback. All buildings greater than 85 feet in height shall have a minimum 200-foot setback.
- (10) Katella Avenue shall have a minimum front and street side yard building setback of 25 feet. The first 20 feet of the 25-foot building setback shall be landscaped.
- (11) Adjacent to Cerritos Avenue, all buildings shall have a minimum 40-foot setback. The first 20 feet adjacent to the street must be landscaped.
- (12) Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.
- (13) For single-story dwellings, the interior side yard setbacks shall be 5 feet and for two-story dwellings, the interior side yard setbacks shall be 10 feet.
- (14) Applies to interior setback from the Town Center Specific Plan, measured from the property line.
- (15) Along property lines that separate mixed use business park or commercial uses there shall be a setback of 5 feet, which may be reduced to 0 feet, subject to approval from the Design Review Committee.
- (16) The minimum distance between structures on the same parcel, where neither structure exceeds 15 feet in height, shall be 6 feet. The minimum distance between structures on the same parcel, where one or both structures exceed 15 feet in height, shall be 10 feet.
- (17) No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.
- (18) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that senior housing must provide a minimum total of one garage space for each dwelling unit and one uncovered guest space for every 20 dwelling units.
- (19) For minimum driveway widths, see Table 2-3 in Section 2.05.040 (Residential zoning district general development standards) of the Cypress Zoning Ordinance.
- (20) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that residential developments must provide a minimum of 1.65 spaces per dwelling unit, which includes 0.2 spaces per unit designated for visitor parking.
- (21) Includes pedestrian walkways, drives, and hardscape improvements.
- (22) Common Open Space shall be devoted to landscaping, patios, enclosed club and fitness rooms, and outdoor facilities such as recreational facilities, pools, and areas devoted to dogs. These areas can include pedestrian walkways, drives and hardscape improvements to support access and use of the common open space/recreational facilities. The above listed common open space facilities may be counted towards credit for private open space facilities under Article VI in Chapter 25 (Subdivisions) of the Cypress City Code.
- (23) The development standards applicable to the PS-1A Zoning District in Cypress Zoning Ordinance shall be applicable to Cottonwood Church.

RECEIVED

FEB 27 2025

AIRPORT LAND USE COMMISSION

PROPOSED REVISIONS TO THE CYPRESS BUSINESS PARK SPECIFIC PLAN

Below are the proposed revisions to the Cypress Business Park Specific Plan to address Airport Land Use Commission (ALUC) issues related to building height.

RECEIVED
FEB 27 2025

Cypress Business Park Specific Plan, Page 26

AIRPORT LAND USE COMMISSION

Table 4.3.1 – General Development Standards (East of Walker Street), Footnote (1)

- (1) In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details. Maximum building height shall be subject to review and determination by the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations. No building shall be permitted to penetrate imaginary surfaces related to hazards or obstructions, in accordance with FAR Part 77 and other applicable FAA standards, including Terminal Instrument Procedures (TERPS). The maximum building height excludes any roof mounted equipment and/or architectural details.

Cypress Business Park Specific Plan, Page 29

Table 4.3.2 – General Development Standards (West of Walker Street), Footnote (7)

- (7) In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details. Ultimately, building heights shall be subject to review by the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations. No building shall be permitted to penetrate imaginary surfaces related to hazards or obstructions, in accordance with FAR Part 77 and other applicable FAA standards, including Terminal Instrument Procedures (TERPS). The maximum building height excludes any roof mounted equipment and/or architectural details.



CITY of CYPRESS

5275 Orange Avenue, Cypress, California 90630

Phone 714-229-6700 www.cypressca.org

Airport Land Use Commission
Attn: Julie Fitch, AICP, Executive Officer
3160 Airway Avenue
Costa Mesa, CA 92626

RECEIVED

JAN 28 2025

AIRPORT LAND USE COMMISSION

Subject: Request for ALUC Review of the City of Cypress Business Parks Modernization and Integration Project

Dear Julie Fitch,

Pursuant to Sections 4.3 (Amendments to General Plans and Specific Plans [Zoning]) and 4.4 (Zoning Ordinances and Building Regulations) of the Airport Environs Land Use Plan (AELUP) for Joint Forces Training Base Los Alamitos (JFTB-Los Alamitos), the City of Cypress requests the Airport Land Use Commission (ALUC) review the proposed Business Parks Modernization and Integration Project (the "Project") for consistency with the AELUP for JFTB-Los Alamitos at its meeting on **February 20, 2025**.

Business Parks Modernization and Integration Project Overview

The Cypress Business Parks are currently governed by the five specific plans listed below, most of which were adopted nearly 40 years ago. The accompanying image identifies the areas within the Cypress Business Parks that each Specific Plan governs.

1. Lusk-Cypress Industrial Park Specific Plan (PC 1 Zone)
2. Cypress Corporate Center Master Plan and associated Amended Specific Plan (PC 2 Zone)
3. McDonnell Center Amended Specific Plan (PC 3 Zone)
4. Cypress View Limited Specific Plan (PC 5 Zone)
5. Amended and Restated Cypress Business and Professional Center Specific Plan, including Amendment 19-1 (PBP Zone)



Figure 1: The image above shows the boundaries of the five existing Specific Plan areas and their zoning designations.

The City Council aims to modernize and consolidate these plans into a single, cohesive Cypress Business Park Specific Plan to ensure the continued success of the Business Parks and address evolving economic needs. The key objectives of the Project include combining all specific plans into a single, comprehensive plan with updated and refined standards, while maintaining the fundamental regulatory frameworks; clarifying and modernizing terminology; establishing uniform entitlement and permitting requirements consistent with the Municipal Code; and future-proofing the Business Parks.

The Project requires amendments to the Specific Plans, General Plan, and Zoning Ordinance, as outlined below. As requested, an Airport Land Use Commission Submittal Form has been prepared for the General Plan Amendment, Zoning Ordinance Amendment, and each Specific Plan. The forms are attached for your review (Attachment 1).

- *Specific Plan Amendment*: A Specific Plan Amendment is required to repeal the five Specific Plans and replace them with the new Cypress Business Park Specific Plan (Attachment 2).
- *General Plan Amendment*: A General Plan Amendment is required to update the Land Use Element and Land Use Policy Map of the City's General Plan by removing references to the repealed Specific Plans and incorporating references to the new Cypress Business Park Specific Plan (Attachment 3)
- *Zoning Ordinance Amendment*: A Zoning Ordinance Amendment is required to update the City of Cypress Zoning Ordinance to align land use definitions and parking requirements with the Cypress Business Park Specific Plan (Attachment 4).

Noise Impact

As previously noted, one of the key objectives of the Project is to maintain the fundamental regulatory frameworks of the existing Specific Plans. Accordingly, no amendments to noise policies are proposed. For the Business Parks, the City of Cypress relies on the General Plan Noise Element, Noise Control Ordinance, Zoning Ordinance land use performance standards, and the noise criteria outlined in the AELUP to establish goals, policies, and regulations related to noise (Attachment 5). Therefore, all buildings in the CBPSP area will continue to be constructed in accordance with the General Plan, Municipal Code, and AELUP noise criteria as stated.

Safety Compatibility

The JFTB-Los Alamitos Airport has designated Runway Protection Zones (RPZ) at each end of the runway. The CBPSP area is not located within the RPZ and lies outside the approach and departure corridor for the JFTB-Los Alamitos Airport (Attachment 9). Therefore, adoption of the proposed CBPSP will not result in impacts related to safety hazards in the vicinity of airports.

David Burke, Mayor

Leo Medrano, Mayor Pro Tem
Scott Minikus, Council Member

Kyle Chang, Council Member
Bonnie Peat, Council Member

Height Restriction Zones

In the proposed CBPSP, the maximum building height is either decreasing or remaining unchanged across most of the Business Park area (Attachment 6). However, the maximum building height in the PC 1 zone is increasing from 50 feet to 55 feet (a 5-foot increase) for consistency with the surrounding Business Park areas. As shown in the table below, a 55-foot height limit remains consistent with or significantly below the existing maximum heights established for the neighboring zones. Additionally, maximum building heights remain subject to review and determination by the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations in the CBPSP. Therefore, adoption of the proposed CBPSP will not result in impacts related to building height.

Table 1: Existing Maximum Building Heights v. Proposed Maximum Building Heights

Zone	Specific Plan Land Use Designation	Existing Maximum Height	Proposed Maximum Height
Planned Community 1 (PC 1)	N/A	50 feet	55 feet
Planned Community 2 (PC 2)		55 feet	
Planned Community 3 (PC 3)		99 feet	
Planned Community 5 (PC 5)		None	
Planned Business Park (PBP)	Hotel Support Commercial	99 feet	99 feet
	Mixed-Use Commercial	99 feet	99 feet
	Professional Office	99 feet	99 feet
	Residential	99 feet	99 feet
	High Density Residential Overlay	99 feet	99 feet
	Senior Housing	55 feet	55 feet
	General Retail Commercial	50 feet	50 feet
	Mixed Use Business Park	50 feet	50 feet
	Cottonwood Church	N/A	N/A

David Burke, Mayor

Leo Medrano, Mayor Pro Tem
Scott Minikus, Council Member

Kyle Chang, Council Member
Bonnie Peat, Council Member

Density

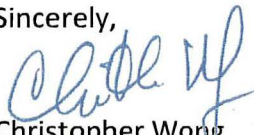
The Project does not propose significant changes to the land uses identified in the existing plans, except for the inclusion of high-density residential land uses in a small area of the Business Parks (Attachments 7-9). This change is mandated by the Housing Element, which was reviewed by the ALUC on January 20, 2022, and deemed consistent with the AELUP for JFTB-Los Alamitos. Therefore, this proposed change has already been approved. The action of amending the Specific Plan is primarily a technical update to ensure consistency with the General Plan, as required by Government Code Sections 65450-65457.

California Environmental Quality Act

In accordance with the California Environmental Quality Act (CEQA), an Initial Study and Negative Declaration were prepared for the Project and conclude that the Project will not have a significant effect on the environment. A copy of the document is attached for reference (Attachment 10).

Thank you for your time and consideration of this request. Should you have any questions regarding this application, please contact me at (714) 229-6753 or cwong@cypressca.org.

Sincerely,



Christopher Wong
Business Development Manager
City of Cypress, Community Development Department

Attachments:

1. Airport Land Use Commission submittal forms
 - a. General Plan Amendment
 - b. Zoning Ordinance Amendment
 - c. Specific Plan Amendment
2. Draft Specific Plan Amendment ordinance and proposed Cypress Business Park Specific Plan
3. Draft General Plan Amendment resolution
4. Draft Zoning Ordinance Amendment ordinance
5. Current General Plan and Municipal Code pages detailing noise policies and regulations
6. Current General Plan and Specific Plan pages detailing maximum heights
7. Figure 1 – Locations of proposed new uses within the Notification Area/Planning Area for JFTB-Los Alamitos
8. Figure 2 – Locations of proposed new uses in relation to the AELUP Height Restriction Zone for JFTB-Los Alamitos
9. Figure 3 – Locations of proposed new uses in relation to Impact Zones for JFTB-Los Alamitos
10. Initial Study/Negative Declaration

David Burke, Mayor

Leo Medrano, Mayor Pro Tem
Scott Minikus, Council Member

Kyle Chang, Council Member
Bonnie Peat, Council Member



AIRPORT LAND USE COMMISSION FOR ORANGE COUNTY

SUBMITTAL FORM: GENERAL PLAN • SPECIFIC PLAN • ZONING CODE

1. Name of City or County: Cypress
2. Contact Information - Name/Title Christopher Wong, Business Development Manager
Agency: City of Cypress
Address: 5275 Orange Ave, Cypress, CA 90630
Phone/email: (714) 229-6753, cwong@cypressca.org
3. Airport Planning Area(s):
☐ John Wayne Airport ☐ Fullerton Municipal Airport ☒ JFTB - Los Alamitos
4. Item being submitted for review (submit each item separately): General Plan Amendment
Name of General Plan Element, Specific Plan or Planned Community: Land Use Element
5. Scheduled date of Planning Commission Choose month. Public Hearing: N/A
6. Tentative date of City Council/Board of Supervisors Public Hearing: 3/24/2025
7. Requested date of ALUC Review February 20.
Complete submittals must be received by the first day of the month to be considered for the next meeting date.
8. Does the item submitted propose a change of land use or heights within the airport Notification/Planning Area*? ☒ No (skip items # 9-12). ☐ Yes (continue below).
9. Does the item propose a change of land use within the ☐ 60 CNEL or ☐ 65 CNEL noise contours of the airport(s)*? Please attach an exhibit showing location(s) of the proposed new uses in relation to noise contours.
10. Are noise policies or mitigation measures identified in the proposed item or elsewhere in the General Plan? ☐ No ☐ Yes - Please attach pages with current (and proposed if applicable) noise policies/mitigation measures highlighted.
11. Does the item submitted propose a change of land use within the Runway Protection Zone (RPZ), Clear Zone (CZ), or Airport Safety Zones of the airport*? ☐ No ☐ Yes - Please attach exhibit showing location(s) of proposed uses.
12. Does the item submitted propose a change of land use within the Obstruction Imaginary Surfaces*? ☐ No ☐ Yes
13. Please indicate current N/A and proposed N/A maximum heights allowed.

SUBMITTAL CHECKLIST: General Plan • Specific Plan • Zoning Code

- ☒ Cover letter on City/County letterhead.
- ☒ Completed Submittal Form.
- ☒ Link to existing <https://www.cypressca.org/home/showpublisheddocument/11369/638061699910600000> and proposed <https://www.cypressca.org/home/showdocument?id=12955&t=638735644399522483> General Plan Element, Specific Plan or Zoning Code for this submittal.
- ☒ Attachment showing proposed changes to General Plan Element, Specific Plan or Zoning Code Section(s) with strikethrough/underline.
- ☒ Exhibit showing location(s) of proposed new uses within the Notification Area/Planning Area for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to noise contours for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to Airport Safety Zones.
- ☒ Exhibit showing location(s) of proposed new uses in relation to the Obstruction Imaginary Surfaces.
- ☒ Attachment showing current and proposed noise policies/mitigation measures.
- ☒ Explanation of how the General Plan, Specific Plan, or Zoning Code address the AELUP standards for noise impact, safety compatibility, and height restriction zones.
See cover letter.
- ☒ Describe height and density changes in cover letter and attach pages of General Plan, Specific Plan and/or Zoning Code where maximum heights are specified.
- ☒ Provide information regarding CEQA compliance.

*For airport planning/notification areas, noise contours, safety zones and obstruction imaginary surfaces see Appendix D of the applicable Airport Environs Land Use Plan (AELUP) at:
<https://www.ocair.com/about/administration/airport-governance/commissions/airport-land-use-commission/>

Noise sensitive uses include but are not limited to community facilities such as: churches, libraries, schools, preschools, day-care centers, hospitals, and nursing/convalescent homes.

Mail or Email Submittal Form, Checklist and attachments to: Airport Land Use Commission for Orange County,
 Attn: Executive Officer, 3160 Airway Avenue, Costa Mesa, CA 92626 / Phone: (949) 252-5170
ALUCinfo@ocair.com



AIRPORT LAND USE COMMISSION FOR ORANGE COUNTY

SUBMITTAL FORM: GENERAL PLAN • SPECIFIC PLAN • ZONING CODE

1. Name of City or County: Cypress
2. Contact Information - Name/Title Christopher Wong, Business Development Manager
Agency: City of Cypress
Address: 5275 Orange Ave, Cypress, CA 90630
Phone/email: (714) 229-6753, cwong@cypressca.org
3. Airport Planning Area(s):
☐ John Wayne Airport ☐ Fullerton Municipal Airport ☒ JFTB - Los Alamitos
4. Item being submitted for review (submit each item separately): Zoning Code Amendment
Name of General Plan Element, Specific Plan or Planned Community: N/A
5. Scheduled date of Planning Commission Choose month. Public Hearing: N/A
6. Tentative date of City Council/Board of Supervisors Public Hearing: 3/24/2025
7. Requested date of ALUC Review February 20.
Complete submittals must be received by the first day of the month to be considered for the next meeting date.
8. Does the item submitted propose a change of land use or heights within the airport Notification/Planning Area*? ☒ No (skip items # 9-12). ☐ Yes (continue below).
9. Does the item propose a change of land use within the ☐ 60 CNEL or ☐ 65 CNEL noise contours of the airport(s)*? Please attach an exhibit showing location(s) of the proposed new uses in relation to noise contours.
10. Are noise policies or mitigation measures identified in the proposed item or elsewhere in the General Plan? ☐ No ☐ Yes - Please attach pages with current (and proposed if applicable) noise policies/mitigation measures highlighted.
11. Does the item submitted propose a change of land use within the Runway Protection Zone (RPZ), Clear Zone (CZ), or Airport Safety Zones of the airport*? ☐ No ☐ Yes - Please attach exhibit showing location(s) of proposed uses.
12. Does the item submitted propose a change of land use within the Obstruction Imaginary Surfaces*? ☐ No ☐ Yes
13. Please indicate current N/A and proposed N/A maximum heights allowed.

SUBMITTAL CHECKLIST: General Plan • Specific Plan • Zoning Code

- ☒ Cover letter on City/County letterhead.
- ☒ Completed Submittal Form.
- ☒ Link to existing <https://ecode360.com/43174697#43174697> and proposed <https://www.cypressca.org/home/showdocument?id=12959&t=638735644412921651> General Plan Element, Specific Plan or Zoning Code for this submittal.
- ☒ Attachment showing proposed changes to General Plan Element, Specific Plan or Zoning Code Section(s) with strikethrough/underline.
- ☒ Exhibit showing location(s) of proposed new uses within the Notification Area/Planning Area for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to noise contours for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to Airport Safety Zones.
- ☒ Exhibit showing location(s) of proposed new uses in relation to the Obstruction Imaginary Surfaces.
- ☒ Attachment showing current and proposed noise policies/mitigation measures.
- ☒ Explanation of how the General Plan, Specific Plan, or Zoning Code address the AELUP standards for noise impact, safety compatibility, and height restriction zones.
See cover letter.
- ☒ Describe height and density changes in cover letter and attach pages of General Plan, Specific Plan and/or Zoning Code where maximum heights are specified.
- ☒ Provide information regarding CEQA compliance.

*For airport planning/notification areas, noise contours, safety zones and obstruction imaginary surfaces see Appendix D of the applicable Airport Environs Land Use Plan (AELUP) at:
<https://www.ocair.com/about/administration/airport-governance/commissions/airport-land-use-commission/>

Noise sensitive uses include but are not limited to community facilities such as: churches, libraries, schools, preschools, day-care centers, hospitals, and nursing/convalescent homes.

Mail or Email Submittal Form, Checklist and attachments to: Airport Land Use Commission for Orange County,
Attn: Executive Officer, 3160 Airway Avenue, Costa Mesa, CA 92626 / Phone: (949) 252-5170
ALUCinfo@ocair.com



AIRPORT LAND USE COMMISSION FOR ORANGE COUNTY

SUBMITTAL FORM: GENERAL PLAN • SPECIFIC PLAN • ZONING CODE

1. Name of City or County: Cypress
2. Contact Information - Name/Title Christopher Wong, Business Development Manager
Agency: City of Cypress
Address: 5275 Orange Ave, Cypress, CA 90630
Phone/email: (714) 229-6753, cwong@cypressca.org
3. Airport Planning Area(s):
☐ John Wayne Airport ☐ Fullerton Municipal Airport ☒ JFTB - Los Alamitos
4. Item being submitted for review (submit each item separately): Specific Plan Amendment
Name of General Plan Element, Specific Plan or Planned Community: Cypress Business Park
Specific Plan
5. Scheduled date of Planning Commission Choose month. Public Hearing: N/A
6. Tentative date of City Council/Board of Supervisors Public Hearing: 3/24/2025
7. Requested date of ALUC Review February 20.
Complete submittals must be received by the first day of the month to be considered for the next meeting date.
8. Does the item submitted propose a change of land use or heights within the airport
Notification/Planning Area*? ☐ No (skip items # 9-12). ☒ Yes (continue below).
9. Does the item propose a change of land use within the ☒ 60 CNEL or ☐ 65 CNEL noise
contours of the airport(s)*? Please attach an exhibit showing location(s) of the proposed
new uses in relation to noise contours.
10. Are noise policies or mitigation measures identified in the proposed item or elsewhere in the
General Plan? ☐ No ☒ Yes - Please attach pages with current (and proposed if applicable)
noise policies/mitigation measures highlighted.
11. Does the item submitted propose a change of land use within the Runway Protection Zone
(RPZ), Clear Zone (CZ), or Airport Safety Zones of the airport*? ☒ No ☐ Yes - Please attach
exhibit showing location(s) of proposed uses.
12. Does the item submitted propose a change of land use within the Obstruction Imaginary
Surfaces*? ☐ No ☒ Yes
13. Please indicate current N/A and proposed N/A maximum heights allowed.

SUBMITTAL CHECKLIST: General Plan · Specific Plan · Zoning Code

- ☒ Cover letter on City/County letterhead.
- ☒ Completed Submittal Form.
- ☒ Link to existing [1.c. Existing Specific Plans](#) and proposed <https://www.cypressca.org/home/showdocument?id=12957&t=638735644407121734> General Plan Element, Specific Plan or Zoning Code for this submittal.
- ☒ Attachment showing proposed changes to General Plan Element, Specific Plan or Zoning Code Section(s) with strikethrough/underline.
- ☒ Exhibit showing location(s) of proposed new uses within the Notification Area/Planning Area for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to noise contours for airport(s).
- ☒ Exhibit showing location(s) of proposed new uses in relation to Airport Safety Zones.
- ☒ Exhibit showing location(s) of proposed new uses in relation to the Obstruction Imaginary Surfaces.
- ☒ Attachment showing current and proposed noise policies/mitigation measures.
- ☒ Explanation of how the General Plan, Specific Plan, or Zoning Code address the AELUP standards for noise impact, safety compatibility, and height restriction zones.
See cover letter.
- ☒ Describe height and density changes in cover letter and attach pages of General Plan, Specific Plan and/or Zoning Code where maximum heights are specified.
- ☒ Provide information regarding CEQA compliance.

*For airport planning/notification areas, noise contours, safety zones and obstruction imaginary surfaces see Appendix D of the applicable Airport Environs Land Use Plan (AELUP) at:
<https://www.ocair.com/about/administration/airport-governance/commissions/airport-land-use-commission/>

Noise sensitive uses include but are not limited to community facilities such as: churches, libraries, schools, preschools, day-care centers, hospitals, and nursing/convalescent homes.

Mail or Email Submittal Form, Checklist and attachments to: Airport Land Use Commission for Orange County,
 Attn: Executive Officer, 3160 Airway Avenue, Costa Mesa, CA 92626 / Phone: (949) 252-5170
ALUCinfo@ocair.com

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CYPRESS, CALIFORNIA REPEALING THE LUSK-CYPRESS INDUSTRIAL PARK SPECIFIC PLAN, CYPRESS CORPORATE CENTER MASTER PLAN, CYPRESS CORPORATE CENTER AMENDED SPECIFIC PLAN, MCDONNELL CENTER AMENDED SPECIFIC PLAN, CYPRESS VIEW LIMITED SPECIFIC PLAN, AMENDED AND RESTATED CYPRESS BUSINESS AND PROFESSIONAL CENTER SPECIFIC PLAN, AND CYPRESS BUSINESS AND PROFESSIONAL CENTER SPECIFIC PLAN AMENDMENT 19-1 AND ADOPTING THE CYPRESS BUSINESS PARK SPECIFIC PLAN

WHEREAS, the City Council desires to integrate and modernize five of the Cypress Business Parks specific plans (excluding the Warland/Cypress Business Center Specific Plan and Cypress Town Center and Commons 3.0 Specific Plan) through the adoption of a single, comprehensive Cypress Business Park Specific Plan ("Project"); and

WHEREAS, the Project requires the following to be approved by the City Council: an ordinance repealing the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1 and adopting the Cypress Business Park Specific Plan; a Resolution amending the Land Use Element and Land Use Policy Map of the City of Cypress General Plan to remove references to repealed Specific Plans and replace them with references to the Cypress Business Park Specific Plan; an ordinance amending Subsections 2.06.050 (Commercial off-street parking requirements), 2.07.050 (Industrial off-street parking requirements), 3.14.050 (Development standards for parking), and 6.31.020 (Definitions of specialized terms and phrases) of Appendix I (Zoning) of the Cypress City Code to update off-street parking requirements and definitions pertaining to business park uses; and an Initial Study/Negative Declaration ("IS/ND"); and

WHEREAS, the Cypress Business Park Specific Plan area encompasses the planning area of five existing Specific Plan documents and associated amendments (i.e., the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan and associated Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, and Amended and Restated Cypress Business and Professional Center Specific Plan and associated Cypress Business and Professional Center Specific Plan Amendment 19-1). Therefore, repealing the five existing plans and associated amendments is necessary for adoption of the Cypress Business Park Specific Plan; and

WHEREAS, the City Council finds that the Project is consistent with the following General Plan Land Use Element Goals: LU-10, to "carefully regulate future development in the Business Park to ensure the current high quality environment is maintained"; LU-14, to "attract high quality businesses to Commercial and Business Park areas"; LU-15, to "retain and facilitate the expansion of businesses throughout the City"; and, LU-16, to "continue to diversify the Cypress Business Park to maintain its competitiveness"; and the Project furthers these goals by providing a comprehensive and modernized plan for 439 acres of the Cypress Business Park that addresses current and projected economic conditions and land uses, streamlines approval processes, and provides updated development and performance standards that serves to attract new businesses and maintain the high-quality environment of the Business Park; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA), an Initial Study/ Negative Declaration (IS/ND) was prepared for the proposed project and released to the public on _____, 2025, for a 20-day review period. All required notifications were provided pursuant to CEQA (Public Resources Code Section 21092.5) and all comment letters were incorporated into the Final IS/ND; and

WHEREAS, on _____, 2025, the City Council held a duly noticed public hearing and considered testimony on the Ordinance.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CYPRESS DOES ORDAIN AS FOLLOWS:

SECTION 1. The City Council hereby specifically finds that all of the facts set forth in the above Recitals are true and correct and are incorporated herein as findings of the City Council.

SECTION 2. CEQA. The City Council confirms that it has reviewed and considered the Final IS/ND and Mitigation Monitoring and Reporting Program (MMRP) for the Project. The IS/ND and MMRP have been prepared, noticed, and are hereby adopted according to the requirements of the California Environmental Quality Act.

SECTION 3. Repeal. The City Council hereby repeals the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1.

SECTION 4. Adoption. The City Council hereby adopts the Cypress Business Park Specific Plan to replace the repealed specific plans. The Cypress Business Park Specific Plan is included in its entirety in Exhibit "A".

SECTION 5. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance, or the application thereof to any person or circumstances, is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any other provision or application, and to this end the provisions of this ordinance are declared to be severable. The City Council hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase, part or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, parts or portions thereof be declared invalid or unconstitutional.

SECTION 6. Effective date. This Ordinance shall become effective thirty (30) days from its adoption.

SECTION 7. Certification. The Mayor shall sign and the City Clerk shall certify to the passage of this Ordinance and shall cause the same to be published and posted pursuant to the provisions of law in that regard.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Cypress at a regular meeting held on the ___ day of _____, 2025.

MAYOR OF THE CITY OF CYPRESS

ATTEST:

CITY CLERK OF THE CITY OF CYPRESS

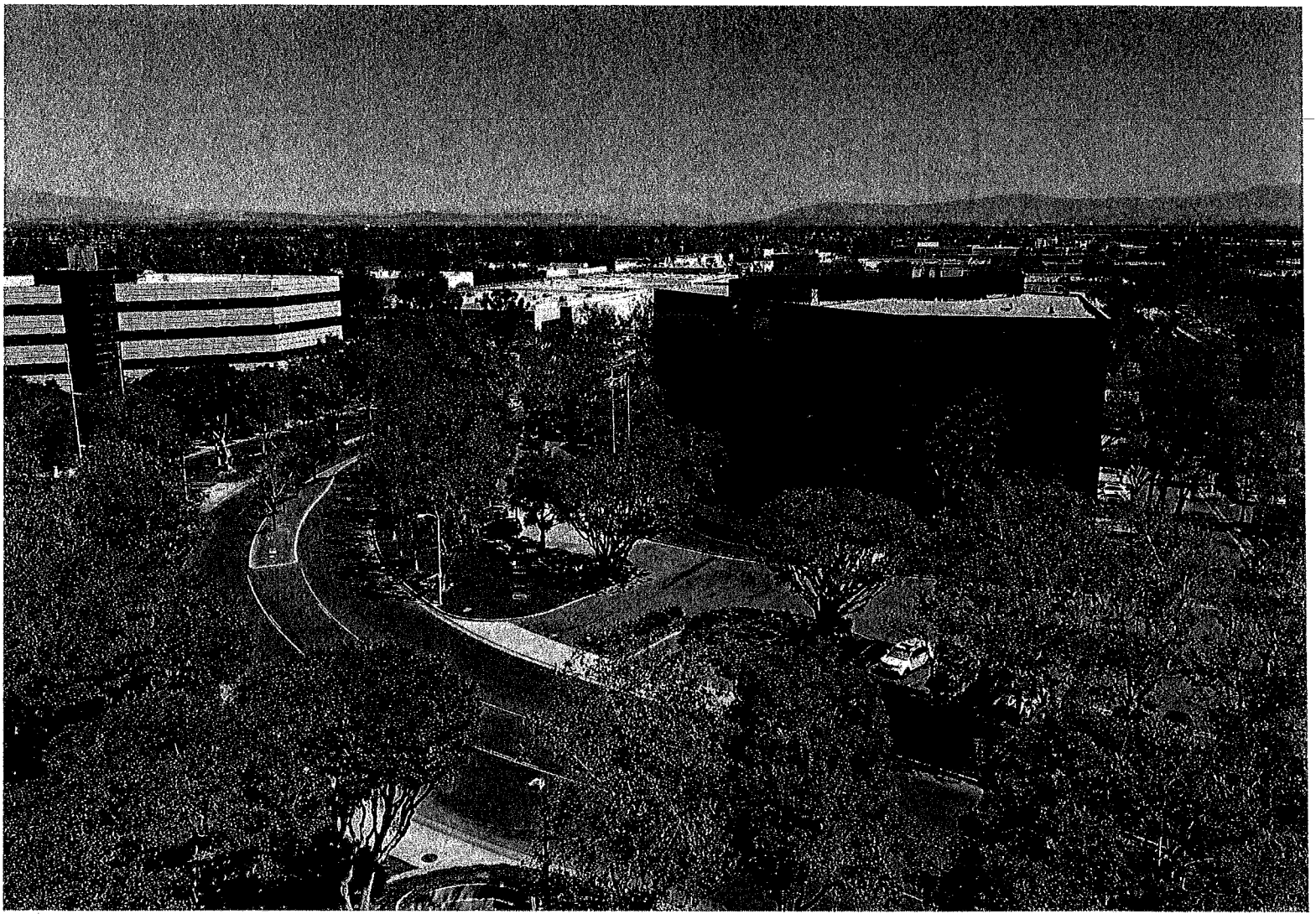
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CITY OF CYPRESS
CLERK'S OFFICE
JAN 14 2014

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS

I, ALISHA FARNELL, City Clerk of the City of Cypress, DO HEREBY CERTIFY that the foregoing Ordinance was duly adopted at a regular meeting of said City Council held on the ____ day of _____, 2025, by the following roll call vote:

AYES: COUNCIL MEMBERS:
NOES: COUNCIL MEMBERS:
ABSENT: COUNCIL MEMBERS:
ABSTAIN: COUNCIL MEMBERS:

CITY CLERK OF THE CITY OF CYPRESS



Cypress Business Park Specific Plan (CBPSP)

A Comprehensive Specific Plan Amendment
and Modernization Effort



Public Review Draft

ACKNOWLEDGMENTS

CITY OF CYPRESS

Cypress City Council

Mayor David Burke
Mayor Pro Tem Leo Medrano
Council Member Kyle Chang
Council Member Scott Minikus
Council Member Bonnie Peat

Community Development Department

Alicia Velasco, Planning Director
Christopher Wong, Business Development Manager

Business Park Advisory Committee (BPAC) Members

Mark Armbruster, Partner, Armbruster Goldsmith & Delvac LLP
Lisa Davis, Escrow Officer, Starcrest Escrow, Inc.
Rick Ellison, Executive Vice Chairman, Cushman & Wakefield
Lisa Lane, General Manager, Residence Inn by Marriott
Kevin Tsao, Chief Strategy Officer, ENO Brands

CONSULTANT TEAM

Casc Engineering and Consulting, Inc.

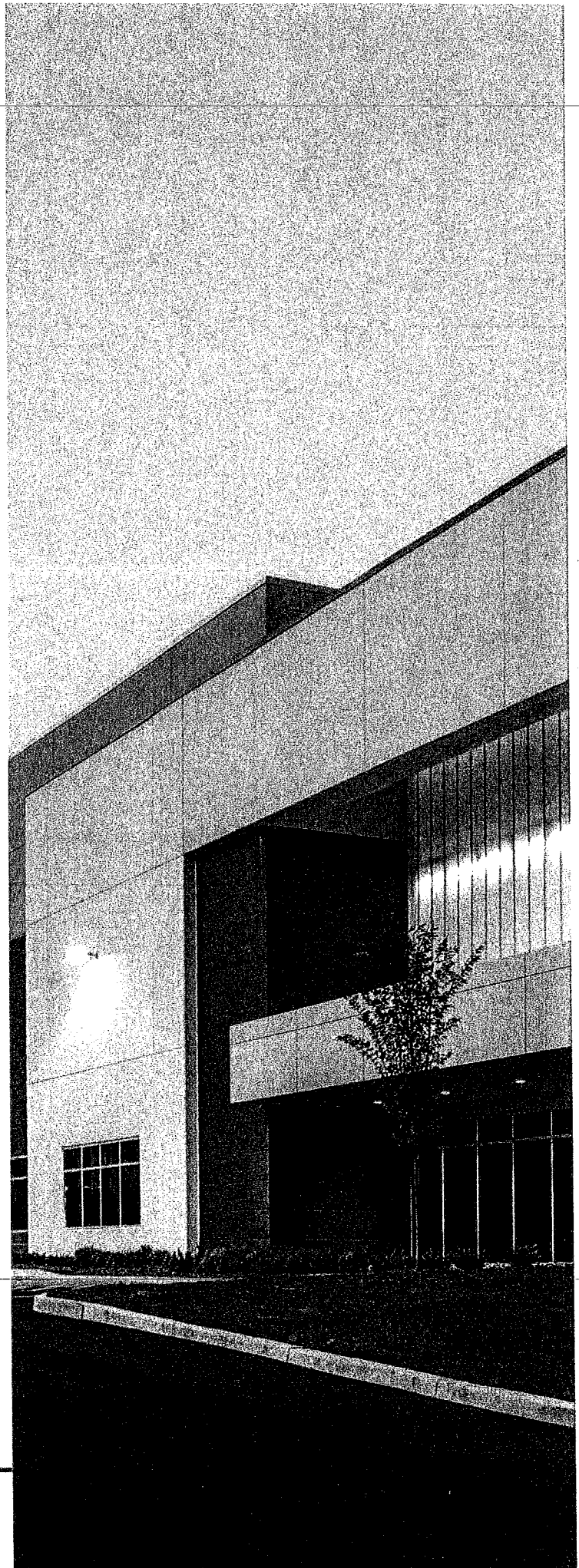
Frank Coyle, Director of Planning
Lauren Thompson, Senior Planner

The Natelson Dale Group, Inc. (TNDG)

Roger Dale, Principal

NUVIS Landscape Architecture

Linda Forde, Principal



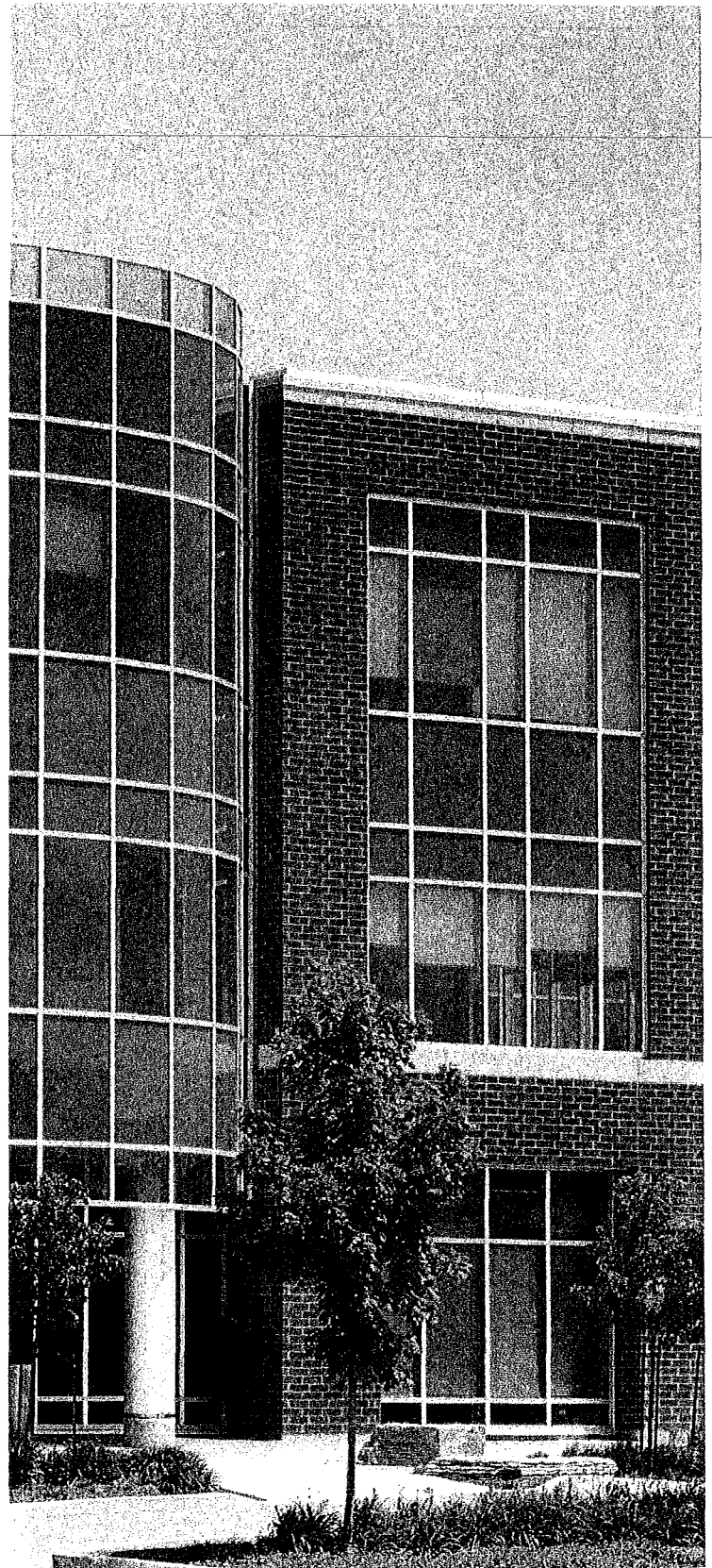
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CHAPTER 1. INTRODUCTION

Purpose and Context of the CBPSP

1.1 Authority

The Cypress Business Park Specific Plan (CBPSP) establishes a comprehensive framework for the systematic and efficient development of the Cypress Business Parks, aligning with the City of Cypress's General Plan policies and objectives. Serving as a regulatory document, the CBPSP functions as the zoning regulations for the designated area and follows California Government Code sections 65450 through 65457, which authorizes local governments to create specific plans. All development proposals and entitlements within the boundaries of the Specific Plan (see Figure 1-1, **Specific Plan Boundary**) must comply with the standards, guidelines, and procedures outlined in this document.

1.2 Purpose and Intent

The CBPSP consolidates five individual Specific Plans, and their amendments, into a single modernized document. Its purpose is to update the zoning regulations to attract high-quality industries, generate job opportunities, and streamline administration of the Specific Plan area. This plan enhances the area's overall character while supporting the City's goal to foster a vibrant and resilient business community.

1.3 Project History and Background

The history of the CBPSP area is closely tied to the growth of Cypress and regional trends in southern California. In the mid-1970s, as the City transitioned from a rural to an urban community with rapid population growth, City leaders reserved the southern portion of the City for commercial development. This foresight led to the creation of the Cypress Business Parks, initially governed by seven Specific Plans adopted between 1978 and the 1990s, and one adopted in 2017:

1. Lusk-Cypress Industrial Park Specific Plan;
2. Cypress Corporate Center Master Plan and Cypress Corporate Center Amended Specific Plan;
3. McDonnell Center Amended Specific Plan;
4. Warland/Cypress Business Center Specific Plan;
5. Cypress View Limited Specific Plan;
6. Cypress Business & Professional Center Specific Plan and Amendment 19-1; and
7. Cypress Town Center and Commons Specific Plan 3.0.

Of these Specific Plans, five were incorporated into the CBPSP. The Warland/Cypress Business Center Specific Plan was excluded at the property owner's request, and the Cypress Town Center and Commons Specific Plan 3.0 was excluded as it was recently adopted. The five incorporated plans are detailed on the next page.

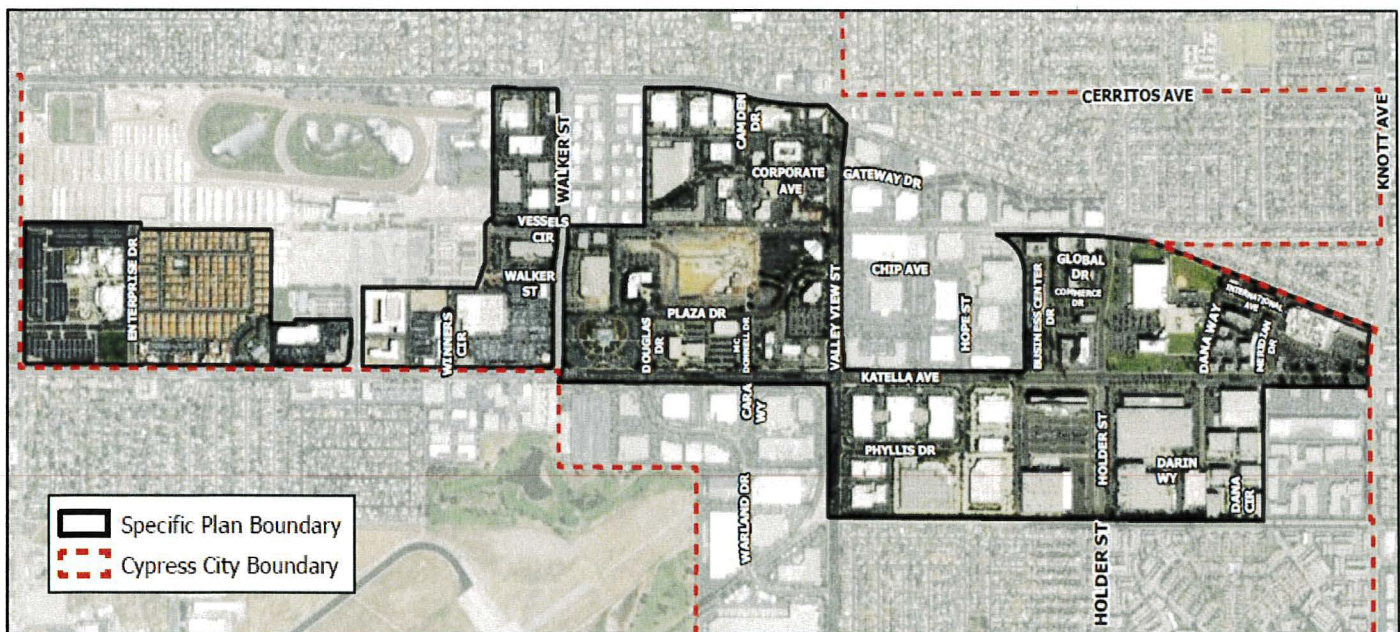


Figure 1-1 Specific Plan Boundary

Lusk-Cypress Industrial Park Specific Plan

The Lusk-Cypress Industrial Park Specific Plan, adopted in March 1978, was the first Specific Plan in the area. It covers approximately 74 acres and established the Planned Community Industrial (PC)/Commercial Zone 1, which allows a mix of industrial and commercial uses, including limited manufacturing facilities. Existing land uses in the Lusk-Cypress Industrial Park area include light industrial, commercial, and retail developments.

Cypress Corporate Center Master Plan and Amended Specific Plan

The Cypress Corporate Center Master Plan was adopted in April 1981, designating 110.43 acres for business park uses under the Planned Community Industrial Zone (PC-2). In February 1998, the plan was amended to increase the allowable building square footage by an additional 82,000 square feet. Land within this area is designated for commercial/office, warehouse/R&D, and support commercial.

McDonnell Center Amended Specific Plan

This specific plan, originally adopted in 1982 and amended in October 1994 and November 2024, established the Planned Community 3 Business Park (PC-3) Zone. Encompassing 71.23 acres, it includes the following land use designations: Industrial/Warehouse/Office, Industrial/Warehouse, Office, Commercial/Office, and Office Commercial. The area has undergone redevelopment. In 2021, a multi-story parking structure was built near the building at 5701 Katella Avenue. In 2023, construction began on a 390,268-square-foot light industrial/office building at 5757 Plaza Drive, replacing a warehouse building. In 2024, the City Council approved the development of a light industrial/warehouse building at 5665 Plaza Drive.

Cypress View Limited Specific Plan

The Cypress View Limited Specific Plan, adopted in November 1985, encompasses 46.91 acres in the southern part of Cypress, situated southwest of the intersection of Valley View Street and Cerritos Avenue. This specific plan primarily focuses on the development of a light industrial and office complex with commercial uses located at the northeastern portion of the Plan boundary.

Cypress Business and Professional Center Specific Plan

Originally adopted in April 1990 and amended in June 2012 and April 2020, this Specific Plan covers 183.5 acres on the southern side of Cypress and permits a mix of commercial uses, senior housing, and related uses. The 2012 amendment clarified the exclusion of the former Cypress Golf Club property and introduced updated provisions, including the creation of Planning Area 9 from portions of Planning Areas 6, 7, and 8. The 2020 amendment (Amendment 19-1) further divided Planning Area 5 into two subareas: 5A (Professional Office), and 5B (Mixed-Use Commercial/Residential).

Boundaries include Katella Avenue to the south, Cerritos Avenue to the north, Walker Street to the east, and Denni Street/Lexington Avenue to the west. Areas transferred into the voter-approved Cypress Town Center and Commons Specific Plan in 2018, such as the Golf Course (35.7 acres, Planning Area 1) and Racetrack (124.7 acres, Planning Area 8), totaling 160.4 acres, were excluded from the Specific Plan.

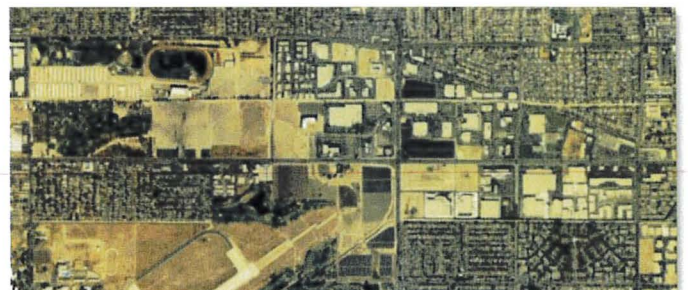
The 2020 amended plan includes eight planning areas with the following land use designations: Mixed-Use Business Park/General Retail Commercial (Planning Area 2), Mixed-Use Business Park (Planning Areas 3 and 4), Professional Office (Planning Area 5A), Mixed-Use Commercial/Residential (Planning Area 5B), Professional Offices Hotel and Support Commercial (Planning Area 6), Cottonwood Church (Planning Area 7), and Mixed-Use Commercial/Senior Housing (Planning Area 9). A new land use designation for Mixed-Use Commercial/High-Density Residential was added in accordance with the 2021-2029 Housing Element Update.

Recent development in this area include the Ovation at Flora Park senior housing project (completed in 2019), a commercial center and assisted living facility built in 2022, and The Square mixed-use project currently under construction at the northeast corner of Katella Avenue and Siboney Street.

The CBPSP area has evolved into a thriving business and commerce hub, attracting major national and international companies to establish their corporate offices and headquarters. The area serves the surrounding community, offering amenities such as major restaurants, retail centers, and hotels.



CBPSP Historical Aerial Imagery (1980), County of Orange (source: ocgis)



CBPSP Historical Aerial Imagery (1990), County of Orange (source: ocgis)

1.4 Project Description

The CBPSP establishes a modernized and comprehensive framework for 439 acres within the Cypress Business Park, consolidating five existing Specific Plans into one cohesive document. The Warland/Cypress Business Center Specific Plan and Cypress Town Center and Commons Specific Plan 3.0 are excluded from this consolidation.

Many of the original Specific Plans adopted between 1978 and 1990s contained outdated language that no longer aligned with economic and regulatory needs. Examples include:

- Landscape requirements that did not comply with State and Golden State Water drought restrictions and water conservation laws.
- Inconsistencies with the Municipal Code, specifically in the Lusk-Cypress Industrial Park and McDonnell Center Amended Specific Plans.
- Outdated and undefined land uses, such as rubber stamp manufacturing, lithography, and animal feather processing.

The CBPSP updates and modernizes these standards, offering greater flexibility while adapting to the built-out nature of the business park and the evolving local economy. This allows the City to manage land uses more effectively while preserving the area's character.

The land use designations east of Walker Street are consolidated into three designations: Business Park, Commercial, and Professional Office. The original land use designations west of Walker Street remain largely unchanged, except where modified by the 2021-2029 Housing Element Update, which permits a residential density of 60 dwelling units per acre on specific properties.

Entitlements approved for the CBPSP include:

- **General Plan Amendment:** The Land Use Map and Land Use Element were updated to reflect the revised CBPSP boundaries and replace references to the five original Specific Plans with the CBPSP. These updates included revisions to the following pages: LU-2, LU-3, LU-8, LU-12, LU-19, LU-26, LU-27, LU-28, and LU-32.
- **Zoning Ordinance and Map Amendment:** The following amendments were made to the Cypress Zoning Ordinance to streamline regulations, reduce conflicts or redundancies between the CBPSP and Zoning Ordinance, and centralize parking standards for greater efficiency and clarity:

- **Vehicle Spaces Required:** Updates were made to Subsections 2.06.050 (Commercial off-street parking requirements) and 2.07.050 (Industrial off-street parking requirements) for various uses, including Public Utility, Public Works, Postal, and Support Facilities; Restaurants, Sit-Down; Day Care Centers; Hotels, Motels, or Inns; and Personal Services.
- **Compact Parking:** Compact parking requirements specific to the CBPSP area were added to Subsection 3.14.050 (Development standards for parking).

To modernize land use definitions and ensure consistency with the CBPSP, Subsection 6.31.020 (Definitions of specialized terms and phrases) was updated with revised or new definitions for the following terms:

- Assembly Use
- Distribution Center
- Health/Fitness Centers
- Light Manufacturing Facility
- Logistics Center/Building
- Personal Services, General
- Research and Development
- Small Animal Hospitals and Animal Boarding
- Storage Facilities, Indoor
- Storage Facilities (Large Scale)
- Storage Yards (Public)
- Warehouse
- Wholesaling

Finally, the Zoning Map was updated to reflect the new boundaries of the CBPSP area.

- **Specific Plan Amendment:** The following Specific Plans were repealed with the adoption of the Cypress Business Park Specific Plan: the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan and associated Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, and Amended and Restated Cypress Business and Professional Center Specific Plan and associated Amendment 19-1.

1.5 Specific Plan Location

The CBPSP is located in the southern boundary of the City of Cypress within Orange County. Regional access to the Specific Plan area is provided by the San Gabriel River Freeway (Interstate 605) and the San Diego Freeway (Interstate 405) to the west, and the Garden Grove Freeway (State Route [SR] 22), Artesia Freeway (SR-91), and Beach Boulevard (SR-39). Local access is provided by Katella Avenue and West Cerritos Avenue (the east-west arterials) and Valley View Street to the north and south.

CHAPTER 2. EXISTING CONDITIONS

Existing Conditions within the CBPSP area

The following sections provide an overview of the existing conditions prior to the adoption of this Specific Plan, including existing land uses, surrounding land uses, parcel sizes, property ownership, circulation, and economic conditions.

2.1 Land Use Designations

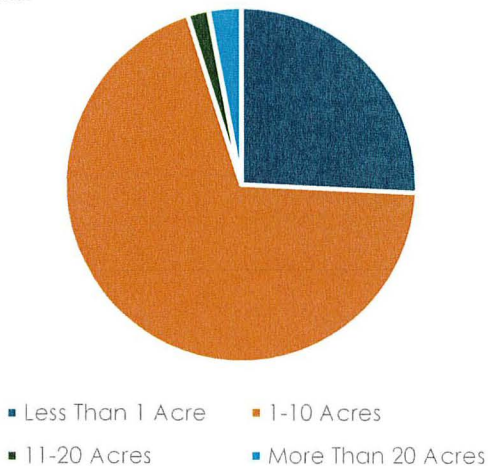
The CBPSP area historically featured a mix of low- to mid-rise commercial and light industrial uses. As illustrated in [Figure 2-1](#), the CBPSP area was comprised of thirteen land use designations across five business park Specific Plans.

2.2 Surrounding Land Uses

As depicted in [Figure 2-2](#), the CBPSP area was surrounded by a diverse range of land uses.

2.3 Parcels

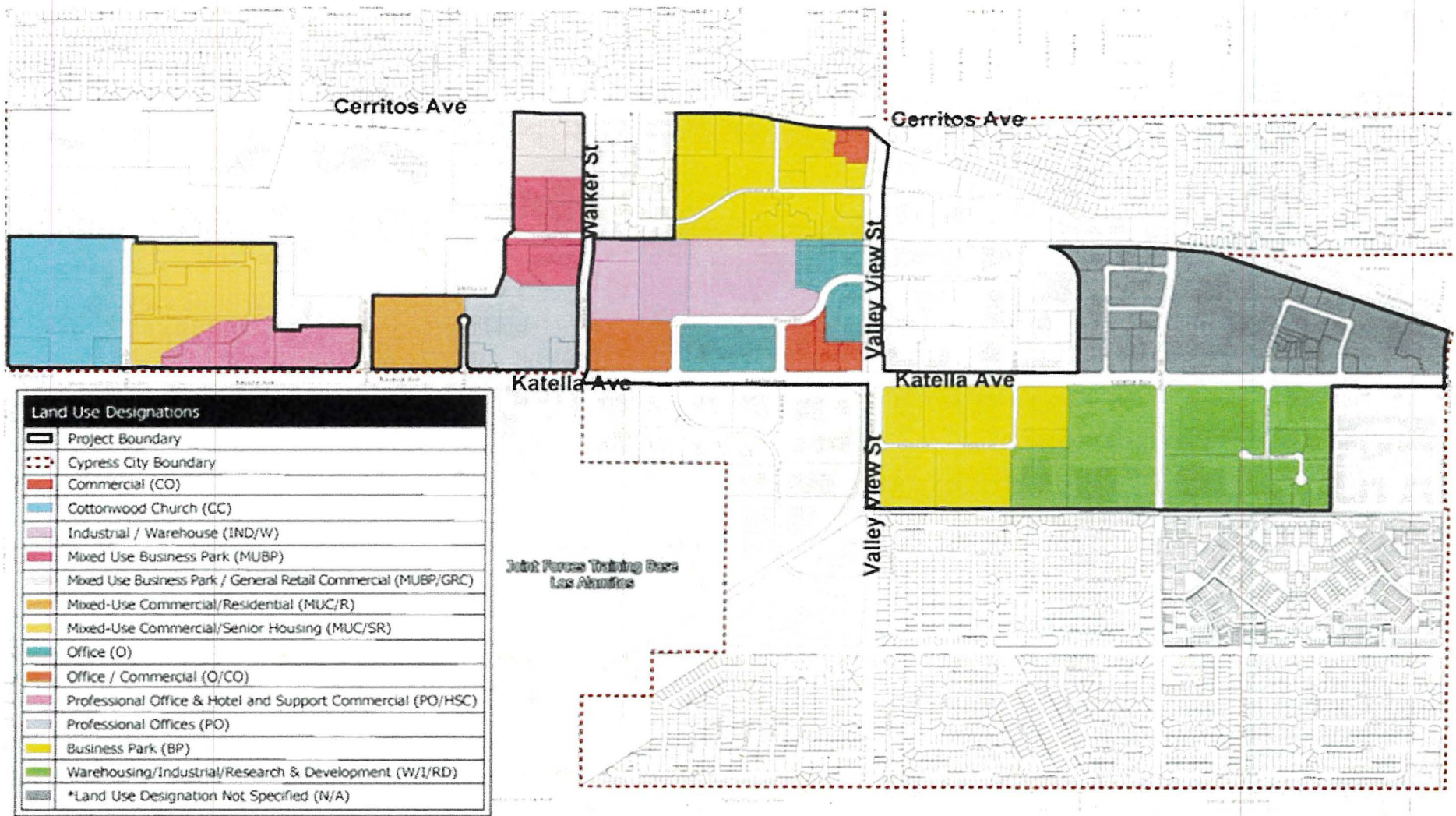
The CBPSP area contained individual parcels ranging in size from less than half an acre to approximately 25 acres. There were over 100 parcels within the CBPSP, but only a few were less than one acre in size.



2.4 Circulation and Site Accessibility

[Figure 2-3](#), Existing Street Classifications, illustrates the street network within and around the Plan Area existing prior to the adoption of the CBPSP, along with the functional classifications of each street. The circulation network is based on a grid system oriented in the north-south and east-west directions. Major roadways providing local and regional connectivity include Katella Avenue, Cerritos Avenue, Knott Avenue, Holder Street, Valley View Street, Walker Street, and Lexington Drive.

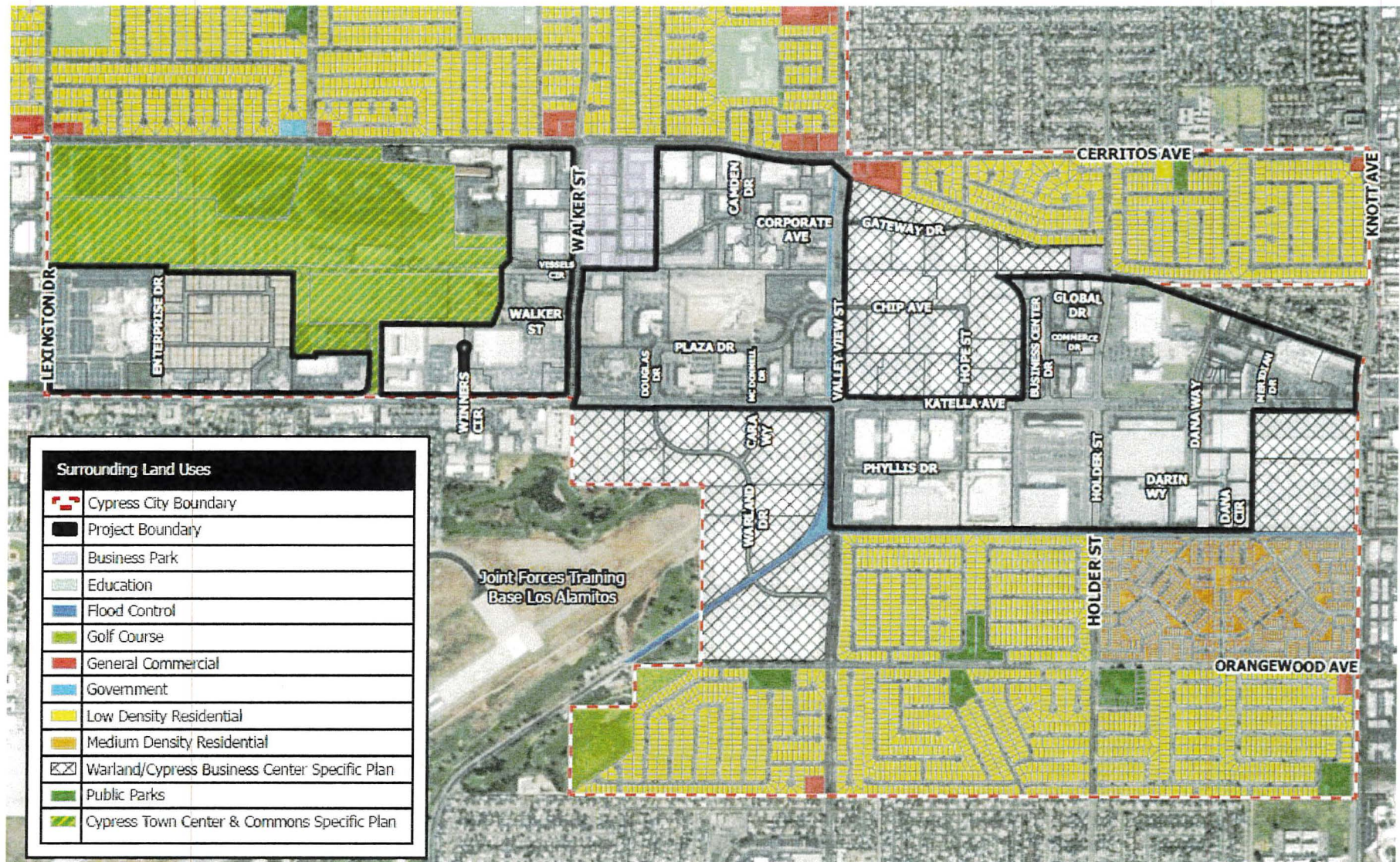
[Figure 2-4](#), Existing Truck Routes, identifies designated truck routes within the CBPSP area as they existed prior to the adoption of the CBPSP. These routes regulate the movement of truck traffic to minimize impacts on sensitive areas, such as residential neighborhoods, by directing trucks along streets with the least noise, vibration, and disruptions. Primary truck routes include Katella Avenue, Cerritos Avenue, Knott Avenue, Valley View Street, and Walker Street, with regional freeway access available via the Katella Avenue/605 Freeway (located west of the CBPSP), Valley View Street/SR 22, and Bolsa Chica/405 Freeway (located south of the CBPSP).



2-1

LAND USE DESIGNATIONS PRIOR TO THE ADOPTION OF THE CBPSP

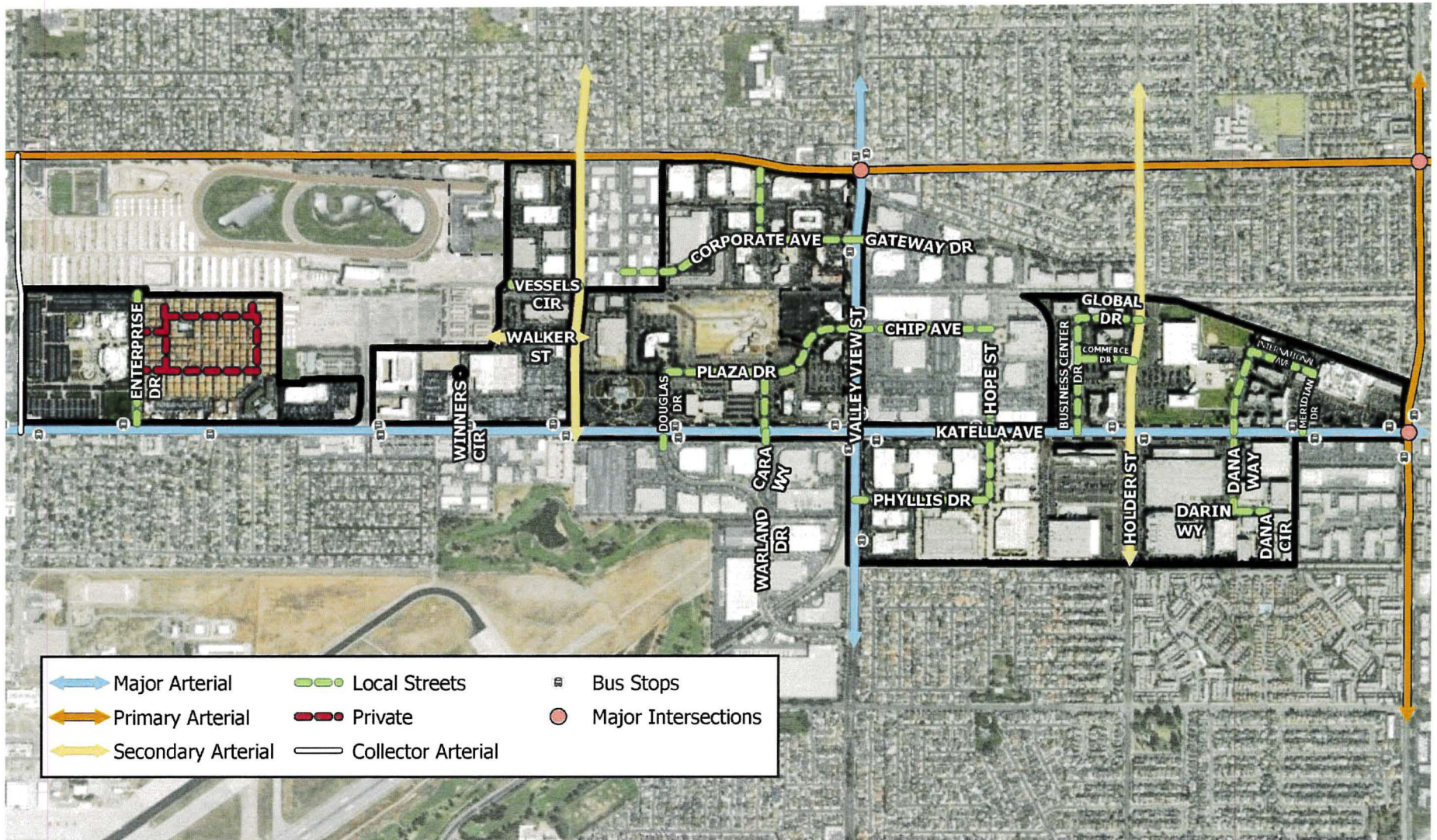
Cypress Business Park Specific Plan (CBPSP)



SURROUNDING LAND USES

2-2

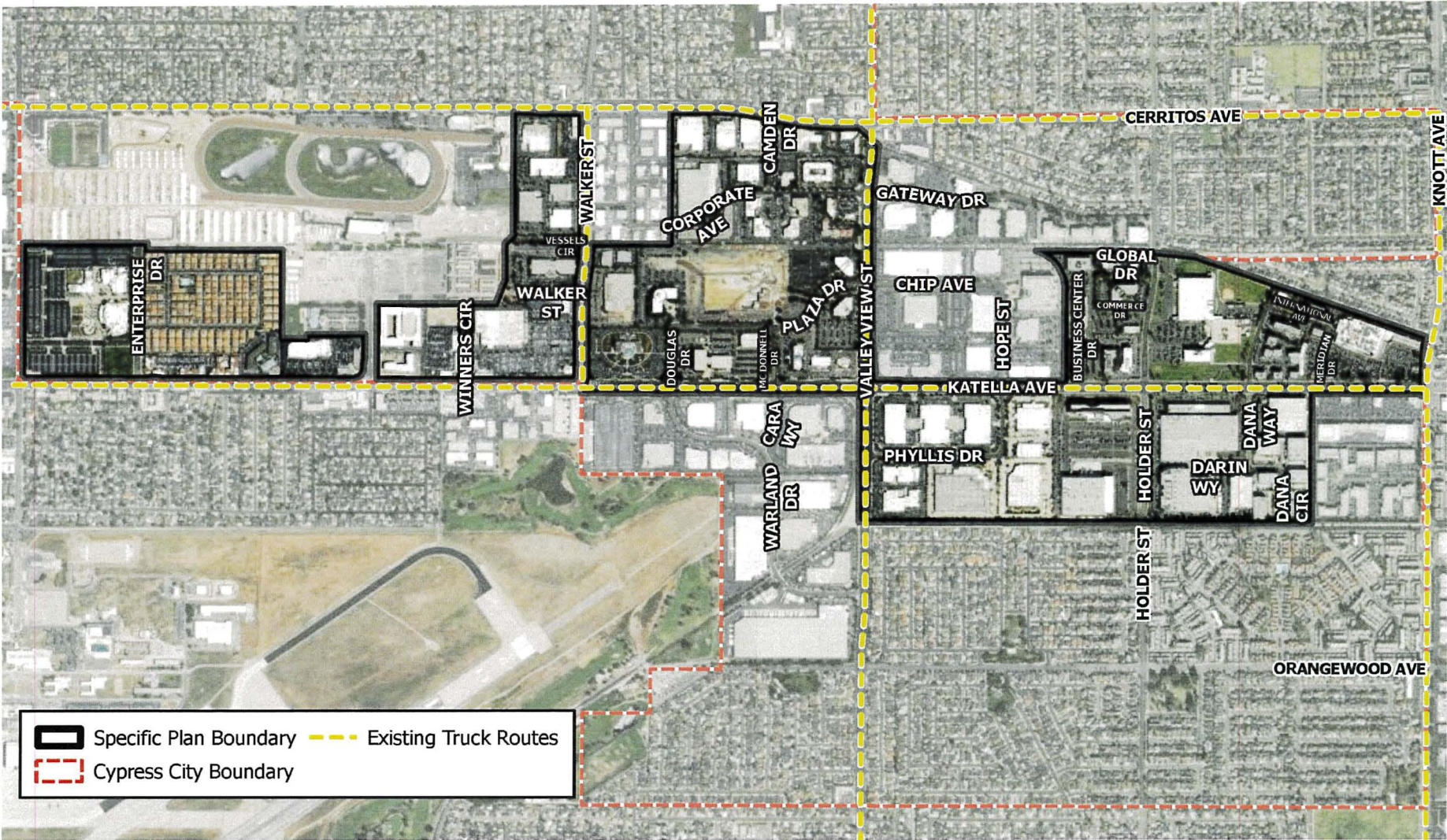
Cypress Business Park Specific Plan (CBPSP)



EXISTING STREET CLASSIFICATIONS

2-3

Cypress Business Park Specific Plan (CBPSP)



EXISTING TRUCK ROUTES

2-4

Cypress Business Park Specific Plan (CBPSP)

2.5 Business Sector Analysis and Real Estate Market Analysis

The Business Sector and Real Estate Analysis (see Appendix) prepared by The Natelson Dale Group, Inc. (TNDG) provides an evaluation of economic conditions and development opportunities in Cypress and Orange County. This analysis supports the CBPSP by identifying key trends, challenges, and growth prospects to guide redevelopment and economic strategy as summarized below.

- **Development Potential:** Cypress is a largely built-out city, meaning future growth will rely on redeveloping or optimizing underutilized sites. The analysis highlights opportunities to expand industrial and office uses within the CBPSP area to align with market demand and attract targeted industries.
- **Industrial and Office Trends:** The industrial sector is characterized by demand for manufacturing space, driven by regional trends in e-commerce and advanced manufacturing. Office market conditions reflect shifts in workplace behavior, with a growing preference for flexible, high-quality office environments over traditional spaces.
- **Growth Projections:** Projections indicate potential demand for new industrial and office space in Cypress, particularly in specialized manufacturing and Class A office redevelopment. Meeting this demand will require targeted marketing and contemporary building offerings to remain competitive within the region.
- **Target Industries:** The analysis identifies key industries for economic development, including manufacturing, aerospace, medical devices, and professional services. Emerging sectors, such as biopharmaceuticals and technology, also present growth opportunities.
- **Supporting Uses:** Ancillary uses, such as retail and restaurant facilities, are expected to play a supporting role in the CBPSP, catering to daytime workforce needs and enhancing the area's appeal as a business hub.

The analysis provides a framework for balancing market feasibility with long-term planning objectives. By fostering redevelopment, targeting high-growth industries, and modernizing existing assets, Cypress can enhance its economic competitiveness and attract high-value tenants to the CBPSP.



CHAPTER 3. VISION, GOALS, AND POLICIES

The Vision for the CBPSP

3.1 Introduction and Vision

The Cypress Business Park Specific Plan (CBPSP) area has thrived as a regional employment hub, driven by streamlined administrative processes, proactive partnerships with business park owners, and its strategic proximity to Los Angeles, providing access to a major economic market. Its success is further supported by a commitment to quality design, efficient infrastructure, and amenities that enhance the quality of life for workers and residents.

The vision for the CBPSP area is to sustain its long-standing success while adapting to evolving opportunities and needs. It is envisioned as a dynamic, innovative, and vibrant hub that attracts top industries, fosters economic growth, and creates job opportunities. By embracing modern technologies, sustainable practices, and forward-thinking developments, the CBPSP aims to cultivate a collaborative and entrepreneurial ecosystem across sectors like technology, research and development, manufacturing, and finance.

To achieve this, the Specific Plan update provides a clear and comprehensive set of modernized development regulations, focusing on four key areas:

1. Integration and Cohesion of Specific Plans
2. Modernization of Terminology and Definitions
3. Clear and Uniform Entitlement and Permitting Requirements
4. Future-Proofing the Specific Plan

By building on past achievements and embracing future opportunities, the CBPSP continues to solidify its role as a premier business destination and a source of community pride.

3.2 Goals and Policies

The CBPSP is centered around a set of overarching goals that have been instrumental in guiding the comprehensive update and modernization efforts. Each goal is supplemented by supporting policies.

Goal 1: Integration and Cohesion of Specific Plans

Policy 1.1: Merge Separate Specific Plans

- Consolidate the five separate Specific Plans within the Cypress Business Park into a single cohesive document to eliminate redundancies and inconsistencies.
- Ensure that the merged Specific Plan maintains each original plan's distinct characteristics and strengths while creating a unified and harmonious vision for the entire Business Park.
- Ensure the merged Specific Plans encourage new development by incorporating development standards and design guidelines from each existing Specific Plan that maintains the most flexibility and minimizes limitations upon good development and design.

Policy 1.2: Foster Connectivity and Collaboration

- Encourage and facilitate collaboration among businesses and stakeholders within the Business Park to promote synergies and shared resources.
- Incorporate design elements that foster walkability, connectivity, and interaction between different districts, enhancing the overall sense of community within the Business Park.

Policy 1.3: Embrace Sustainable Practices

- Integrate modern sustainability practices and green building standards into the Specific Plan to promote environmentally responsible development within the Business Park.
- Encourage the use of renewable energy sources, efficient water management, and environmentally friendly design principles in all new and existing developments.

Policy 1.4: Foster Innovation and Technology

- Recognize and support the growing importance of technology and innovation in the business sector by incorporating policies that attract and accommodate tech-based industries.
- Create an environment that encourages research and development, promoting cutting-edge technologies and fostering a culture of innovation within the Business Park.
- Establish an ability to be responsive to the market economy by allowing flexibility in land uses.

Goal 2: Modernize Terminology and Definitions

Policy 2.1: Update Language and Terminology

- Revise outdated language and terminology in the Specific Plans to reflect current industry standards, best practices, and contemporary planning principles, eliminating inconsistencies and confusion.
- Ensure that the updated terminology is clear, concise, and easily understood by stakeholders and the general public.

Policy 2.2: Incorporate Sustainable and Resilient Terminology

- Incorporate terminology that reflects contemporary principles of sustainability and resilience.
- Integrate language related to environmentally conscious planning, climate resilience, and sustainable development to align with modern planning practices.

Goal 3: Clean and Uniform Entitlement and Permitting Requirements

Policy 3.1: Streamline Permitting Process

- Simplify and streamline business and developers' entitlement and permitting process within the Business Park to reduce delays.

- Implement a transparent and efficient system that provides clear guidelines and timelines for permit approvals.

Policy 3.2: Facilitate Public-Private Partnerships

- Promote public-private partnerships to leverage resources and expertise for infrastructure improvements and community amenities within the Business Park.
- Encourage collaboration between the public sector, private developers, and the local community to enhance the overall development experience.

Goal 4: Future-Proof the Specific Plan

Policy 4.1: Continual Review and Updates

- Ensure that the Specific Plan remains relevant, effective, and aligned with evolving industry trends and best practices by reviewing the document and proposing amendments as necessary to adapt to changing economic, environmental, and social conditions.

Policy 4.2: Flexibility for Future Growth

- Design the Specific Plan with flexibility to accommodate future growth and expansion of businesses and industries within the Business Park.
- Incorporate strategies that allow for adaptive reuse of existing buildings and vacant spaces to meet future demands.

Policy 4.3: Anticipate Transportation Needs

- Consider future transportation needs, such as advancements in autonomous vehicles and transportation networks, when planning for infrastructure improvements and connectivity within the Business Park.
- Promote mobility options that reduce dependency on single-occupancy vehicles and enhance accessibility for all users.

CHAPTER 4. LAND USE AND DEVELOPMENT REGULATIONS

Development Standards and Guidelines for the CBPSP

4.1 Purpose

This Chapter is applicable to all developments within the CBPSP area. These development standards are fundamental to achieving the goals of the Specific Plan and address key components such as building design, parking, landscaping, walls, fencing, and signage. To further advance the objectives of the Specific Plan, the approving authority may impose additional conditions on projects requiring discretionary approval.

4.2 Land Use Designations and Permitted Uses

4.2.1 Purpose of the Land Use Designations

As identified on **Figure 4-1, Specific Plan Land Use Map**, the CBPSP is comprised of nine land use designations and one overlay. The purpose for each designation and overlay is described below.

Business Park (BP)

The BP land use designation is the largest designation within the CBPSP Area. The BP land use designation is intended for high-quality mid-rise structures in a campus-style setting. It allows for offices, research and development facilities, and compatible light manufacturing, fostering a functional and collaborative environment tailored to business needs and economic vitality while supporting a range of industries.

Commercial (CO)

The CO land use designation is intended for high-quality mid-rise structures and allows for a mix of retail, office, and service establishments. It aims to create a vibrant, diverse commercial area along major corridors such as Cerritos Avenue, Katella Avenue, and Valley View Street.

Professional Office (PO)

The PO land use designation is intended for professional and administrative offices and multi-tenant buildings, creating a focused and efficient area for professional activities.

Professional Office and Hotel Support Commercial (PO/HSC)

The PO/HSC land use designation is intended for professional offices and commercial facilities supporting the hotel industry, creating a balanced and economically viable area for both office-based businesses and hospitality needs.

Mixed-Use Business Park (MUBP)

The MUBP land use designation is intended for research and development, compatible light manufacturing, administrative and professional offices of an industrial use, and contemporary commercial business, to support a range of industries.

Mixed-Use Business Park/General Retail Commercial (MUBP/GRC)

The MUBP/GRC land use designation is intended to facilitate a combination of research, development, and business activities, with integrated retail spaces, fostering a dynamic and cohesive urban environment. It allows for research facilities, development laboratories, light manufacturing, and neighborhood shopping centers, creating a versatile area that supports economic growth and meets the diverse needs of businesses and the community.

Mixed-Use Commercial/Senior Housing (MUC/SR)

The MUC/SR land use designation is intended to accommodate commercial development alongside senior housing and related uses, while maintaining the integrity of the business park.

Mixed-Use Commercial/Residential (MUC/R)

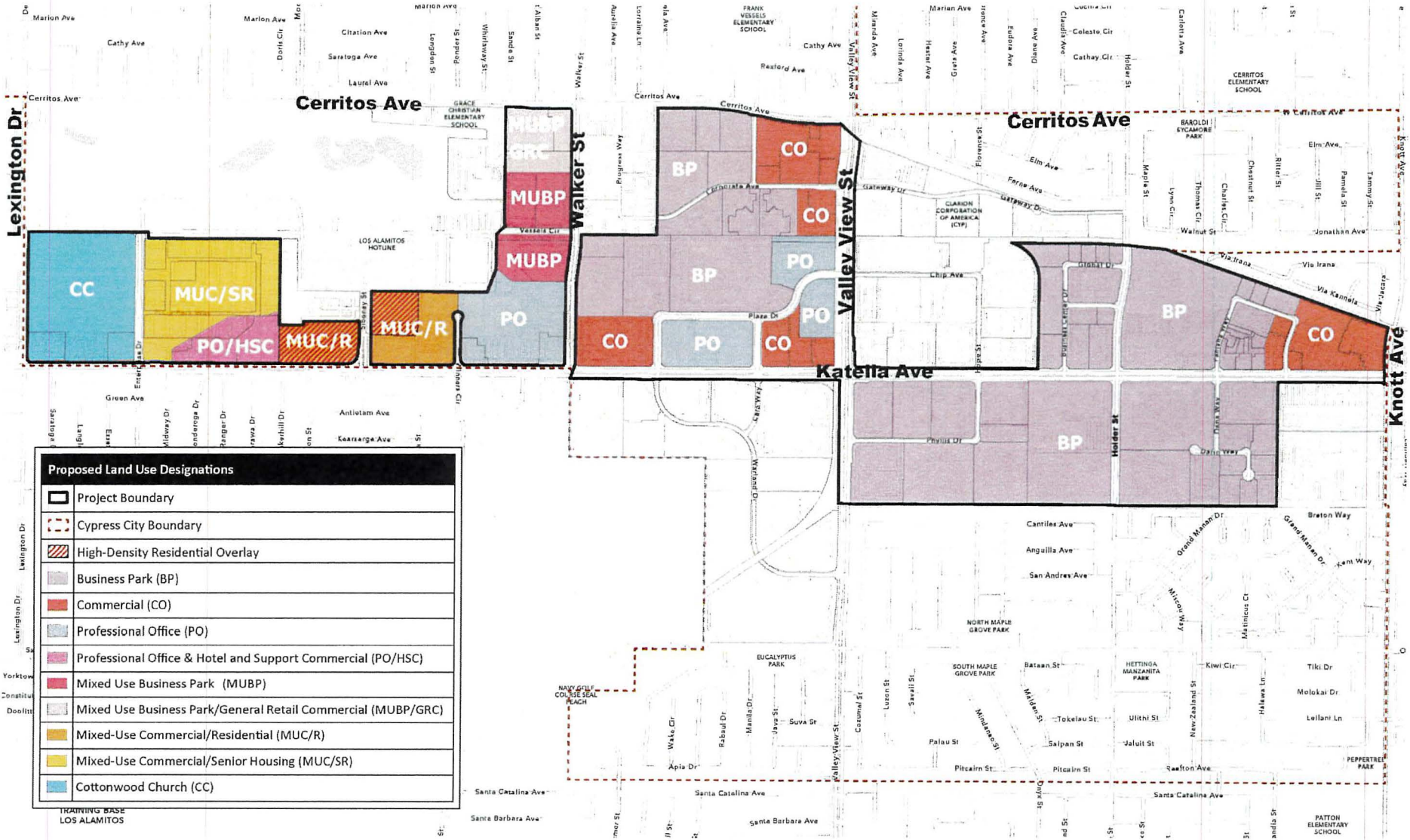
The MUC/R land use designation is intended to accommodate commercial development alongside various types of housing, particularly multi-family housing and related uses. This designation encourages mixed-use projects to foster a vibrant community, while being limited to a specified area to preserve the integrity of the business park.

Cottonwood Church (CC)

The CC land use designation is exclusively designated for public and semi-public uses. Permitted uses and development standards for this land use designation shall meet the requirements of the PS-1A (public and semi-public) zoning district.

High-Density Residential Overlay (HDR Overlay)

The HDR Overlay is established to maximize housing production and contribute to the City's Regional Housing Needs Assessment (RHNA) for the 2021-2029 planning period, as outlined in the 2021-2029 Housing Element. The HDR Overlay is applied to the MUC/R land use designation, as shown in the land use designation map, and permits up to 60 dwelling units per acre.



4-1

SPECIFIC PLAN LAND USE MAP

Cypress Business Park Specific Plan (CBPSP)

4.2.2 Land Uses and Permit Requirements

The Permitted Use Table outlines four land use types: Permitted Uses ("P"), Conditional Uses ("C"), Prohibited Uses ("-"), and Uses Requiring Planning Director Approval ("PD"). See Section 31 of the Cypress Zoning Ordinance for definitions. The Planning Director is authorized to make administrative determinations and interpretations regarding land uses, which may be appealed to the City Council.

Table 4.2.2 – Permitted Use Table

Permitted Use	BP (1)	CO	PO (2) (3)	PO/HSC (2) (3)	MUBP (2) (3)	MUBP/GRC (2) (3) (4)	MUC/R (2) (5)	HDR Overlay (2) (5)	MUC/SR (2)	CC (2)
Professional Office Uses										
Medical, Dental, Veterinary and Related Health Services	P	P	P	P	P	P	P	P	P	(2)
Professional and Administrative Offices	P	P	P	P	P	P	P	P	P	
Distribution Center	C	-	-	-	C	-	-	-	-	-
Industrial Park Uses										
Light Manufacturing, General Assembly, and Food & Beverage Facilities	P	-	-	-	P	P	-	-	-	-
Machine Shop and Machinery Manufacturing	P	-	-	-	P	P	-	-	-	-
Public Utility, Public Works, Postal, and Support Facilities	C	P	C	C	C	C	C	C	C	(2)
Repair and Maintenance, Consumer Products	P	-	-	P	P	P	-	-	-	-
Research and Development (R&D)	P	-	-	P	P	P	-	-	-	-
Indoor Storage Facilities	P	-	-	-	C	C	-	-	-	-
Warehouse	P	-	-	-	C	C	-	-	-	-
Commercial Uses										
Automotive Sales and Services	-	-	-	P ⁽⁹⁾	C	C	C	C	C	-
Bars/Liquor Establishments (On-Site Consumption)	-	C	-	C	C	C	C	C	C	-
Catering and Related Services	-	-	-	C	C	C	C	C	C	-
Retail Stores, General Merchandise	(6)	P ^{(7) (8)}	-	P ⁽⁹⁾	-	P ⁽⁸⁾	P	P	P	-
Gasoline Service Station	-	C	C	C	C	C	C	C	C	-
Health/Fitness Centers	C	C	-	C	C	C	C	C	C	-
Hotels/Motels	C	C	-	C	-	C	C	C	C	-
Indoor Amusement, Entertainment Facility, and Related Services	-	-	-	C	C	C	C	C	C	-
Personal Services, General	-	P	-	P ⁽⁹⁾	-	P	P	P	P	-

Permitted Use	BP (1)	CO	PO (2) (3)	PO/HSC (2) (3)	MUBP (2) (3)	MUBP/GRC (2) (3) (4)	MUC/R (2) (5)	HDR Overlay (2) (5)	MUC/SR (2)	CC (2)
Restaurant without Alcohol Sales	P	P	P	P	P	P	P	P	P	-
Restaurant with Alcohol Sales	C	C	C	C	C	C	C	C	C	-
Restaurant with Drive-Thru	-	C	C	C	C	C	C	C	C	-
Restaurant with Outdoor Seating	P ⁽⁸⁾	P	P	P	P	P	P	P	P	-
Restaurant with Playland	P	P	P	P	P	P	P	P	P	-
Restaurant, Take-Out Shopping Center	P ⁽⁸⁾	P	C	C	P	P	P	P	P	-
Storage Yards (Public)	-	C	-	-	-	C	C	C	C	-
Small Animal Hospitals and Animal Boarding	-	-	-	-	-	-	-	-	-	-
Hospitals and Animal Boarding	-	-	C	C	C	C	P	P	P	-
Public/Institutional Uses										
Child Day Care and Related Services	C ⁽¹⁰⁾	C	C	C	C	C	C	C	C	(2)
Conference Facilities, Theaters, Auditoriums, and Other Public Assembly	-	C	-	P ⁽⁹⁾	C	C	C	C	C	(2)
Educational Institutions, Trade Schools, Other Private Schools	C	C	C	C	C	C	C	C	C	(2)
Residential Uses										
Accessory Uses (Pool/spa, fitness rooms, business centers, leasing offices)	-	-	-	-	-	-	P	P	P	-
Accessory Dwelling Units	-	-	-	-	-	-	P	P	P	-
Assisted living facilities	-	-	-	-	-	-	C	C	P	-
Senior Housing	-	-	-	-	-	-	P	P	P	(2)
Single-Family Dwellings	-	-	-	-	-	-	P	P	P	-
Condominiums/town houses	-	-	-	-	-	-	P	P	P	-
Multi-family dwelling units	-	-	-	-	-	-	P	P	P	-
Home Occupations	-	-	-	-	-	-	P	P	P	-
Caretaker/employee housing	-	-	-	-	-	-	-	-	P	-
Other Uses										
Stand Alone Parking Lots and Parking Structures	C	C	C	C	C	C	C	C	C	-
Uses similar with the intent of the district as determined by the Planning Director	PD	PD	PD	PD	PD	PD	PD	PD	PD	PD

Notes:

- (1) To ensure that the quality of living is maintained in the residential neighborhood south of the Stanton Storm Channel, development adjacent to the channel shall be limited to warehouse/research and development uses, which will serve to minimize light, glare, noise, vehicle emissions, and obstruction of views.
- (2) In addition to the permitted uses listed in this column, all permitted land uses within the PS-1A (Public and Semi-Public) zoning district, as identified in Table 2-15 of Section 2.08.030 of the Cypress Zoning Ordinance, shall also be permitted on property located west of Walker Street, subject to the applicable permit requirements listed therein.
- (3) In addition to the permitted uses listed in this column, all conditionally permitted land uses in Table 2-11 of Section 2.07.030 of the Cypress Zoning Ordinance, shall also be conditionally permitted on property located west of Walker Street.
- (4) In addition to the permitted uses listed in this column, all permitted land uses (except for Residential uses) within the CG (Commercial General) zoning district, as identified in Table 2-6 of Section 2.06.030 of the Cypress Zoning Ordinance, shall also be permitted, subject to the applicable permit requirements listed therein.
- (5) In addition to the permitted uses listed in this column, all permitted land uses within the RM-20 (Multiple Family) zoning district, as identified in Table 2-2 of Section 2.05.030 of the Cypress Zoning Ordinance, shall also be permitted, subject to the applicable permit requirements listed therein.
- (6) Only permitted as an accessory use on the same site as a permitted use within the BP land use designation.
- (7) Only permitted within shopping centers and strip malls with at least 15,000 square feet.
- (8) Stand-alone uses that are not within a shopping center require a Conditional Use Permit.
- (9) Use shall be integrated into a hotel facility.
- (10) Permitted only as ancillary to office uses.

** All uses shall be conducted within a completely enclosed building, except for temporary uses. Temporary uses shall be permitted throughout the CBPSP pursuant to Section 4.19.040 of the Cypress Zoning Ordinance.

4.3 Development Standards

This section establishes the development standards for each land use designation within this Specific Plan, organized as follows:

Section 4.3.1 Development standards for all properties located east of Walker Street, including maximum floor area, building height, setbacks, and off-street parking.

Section 4.3.2 Development standards for all properties located west of Walker Street, including site dimensions, intensity and building form, setbacks, and off-street parking.

Section 4.3.3 Development standards applicable to all properties within the Specific Plan area, covering landscaping, truck and loading areas, fences and walls, lighting, screening and noise attenuation, waste disposal, utilities, and signage.

The City may apply further standards depending on the specific use, as outlined in Section 17 (Standards for Specific Land Uses) of the Zoning Code.

General Provisions:

1. All construction and development within the Specific Plan area shall comply with applicable provisions of the California Building Code, the California Residential Code and the various related codes as currently adopted by the City Council. In case of a conflict the Planning Director and Director of Public Works shall resolve the conflict by written determination in a manner consistent with the goals, objectives and policies of this Specific Plan.
2. Setbacks are measured as the perpendicular distance from the existing or planned street right-of-way line, or property line, to the foundation point of the closest structure.
3. If an issue arises that is not clearly covered, the Director of Community Development will use the most relevant City of Cypress Zoning Ordinance regulations as guidelines. This provision does not allow uses or procedures not specifically permitted by this Specific Plan or the Zoning Ordinance.
4. Abandoned vehicles or trailers, as defined by the Cypress Police Department, shall not be parked or stored on any property within the Specific Plan area unless fully enclosed in a building.
5. Deviations and modifications to the development standards are permitted subject to the provisions in Chapter 7.

4.3.1 Development Standards Applicable to Property Located East of Walker Street

The provisions in this section are applicable to property located east of Walker Street, which includes the land use designations provided in [Figure 4-2](#).

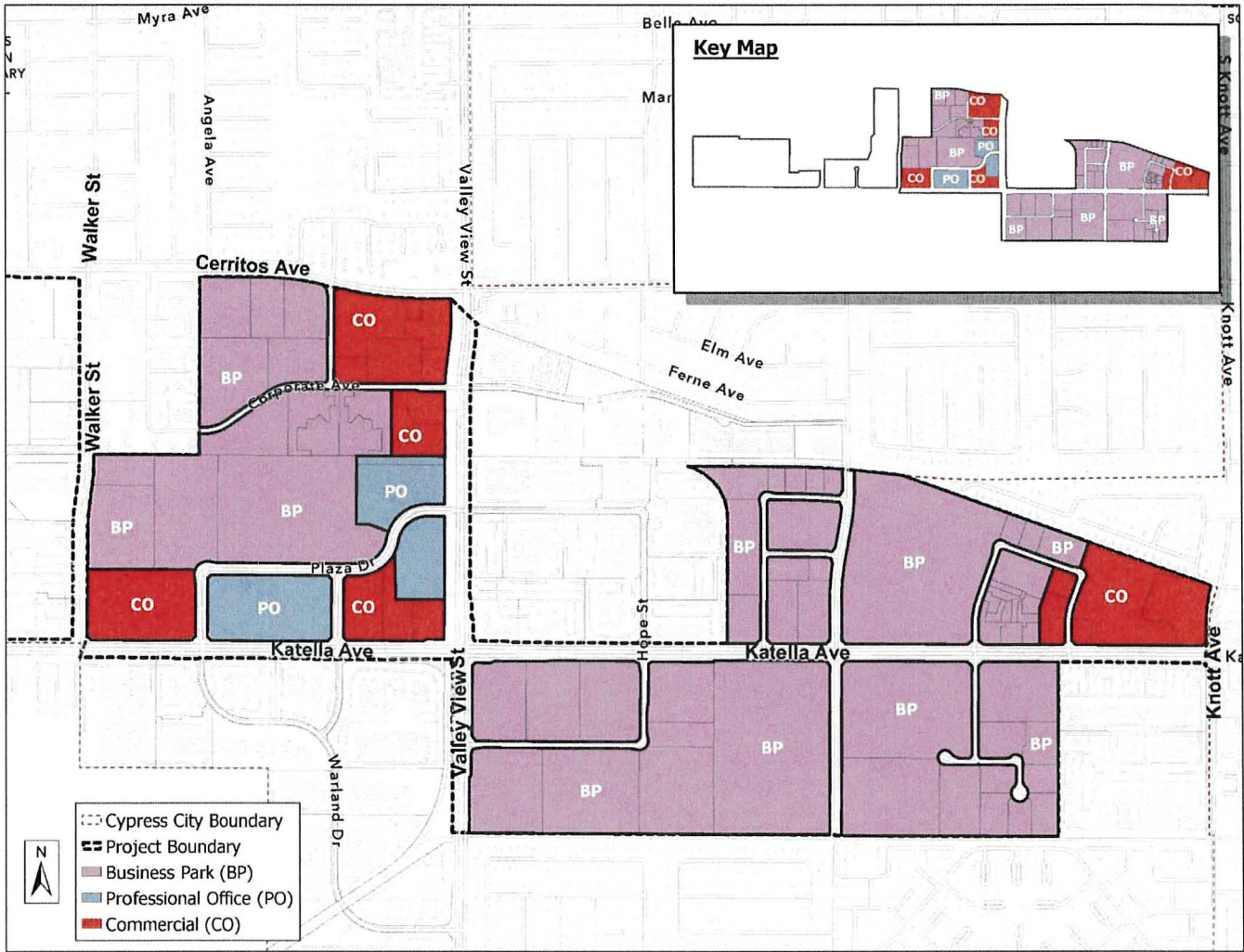


Figure 4-2 Property Located East of Walker Street

Table 4.3.1 – General Development Standards (East of Walker Street)

Development Feature	Development Standard	
	BP	CO, PO
Maximum Floor Area Ratio	1.0	
Maximum Building Height ⁽¹⁾	55 ft	
Minimum Front Yard and Street Side Yard Setbacks ⁽²⁾		
Adjacent to Camden Dr	–	15 ft
Adjacent to Cerritos Ave	40, 50, or 100 ft ⁽³⁾	
Adjacent to Corporate Ave	–	15 ft
Adjacent to Douglas Dr	–	20 ft
Adjacent to Holder St	20 ft	–
Adjacent to Katella Ave	20 ft	
Adjacent to a Local Street ⁽⁴⁾	15 ft	
Adjacent to McDonnell Dr	–	20 ft
Adjacent to Plaza Dr	20 ft	
Adjacent to Valley View St	0 ⁽⁵⁾ or 20 ft	0 ft ⁽⁵⁾
Adjacent to Knott Ave	–	20 ft
Adjacent to Walker St	30 ft ⁽⁶⁾	
Minimum Interior Side Yard and Rear Yard Setbacks		
Adjacent to Business Park or Commercial Parcels	5 ft	
Adjacent to Residential Uses	40 ft	
Adjacent to Stanton Storm Channel	40 ft ⁽⁷⁾	–
Minimum Surface Parking Setback from a Street	10 ft	
Minimum Parking Structure Setback from a Street	15 ft	
Off-Street Parking ⁽⁸⁾ ⁽⁹⁾ ⁽¹⁰⁾ ⁽¹¹⁾	See CZO § 2.07.050 and § 14	See CZO § 2.06.050 and § 14

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⁽¹⁾ In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details.

⁽²⁾ Raised planters not exceeding 3 feet in height shall observe an 18-inch setback from street frontage property lines. Raised planters over 3 feet in height, flag poles, and banner mounts shall observe the minimum surface parking setback requirement. In all cases, safe sight lines for pedestrian and vehicular traffic must be maintained.

⁽³⁾ Adjacent to Cerritos Ave, all buildings 40 feet in height or less shall provide a minimum setback of 40 feet. All buildings greater than 40 feet in height but less than or equal to 45 feet in height shall provide a minimum 50-foot setback. All buildings greater than 45 feet in height but less than or equal to 55 feet in height shall provide a minimum 100-foot setback.

⁽⁴⁾ Local Streets refer to the streets that are not identified as Major, Primary, or Secondary Roadways in the General Plan. This includes, but is not limited to: Phyllis Drive, Hope Street, Business Center Drive, Commerce Drive, Global Drive, Yamaha Way, International Avenue, Meridian Drive, and Corporate Avenue.

⁽⁵⁾ On the properties north of Katella Avenue and adjacent to Valley View Street, the building setback from the property line may be 0, since the 60-foot wide Bolsa Chica Channel separates the subject

site from the Valley View Street right-of-way. The channel is located underground, which allows landscaping, surface parking and access roads to be located over the channel, subject to the approval of the Orange County Flood Control District. The setback standards at this edge would provide a 68-foot building and parking structure setback (from curb), and a 38-foot surface parking setback (from curb), which would be landscaped.

⁽⁶⁾ Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.

⁽⁷⁾ Or a distance equal to the height of the building, whichever is greater.

⁽⁸⁾ As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.

⁽⁹⁾ Where driveways have been provided to permit access to the rear of a building, the minimum driveway width shall be 25 feet. Such driveway shall be maintained free and clear of any obstruction. Where a driveway is provided directly adjacent to the side of a building with openings, said driveway shall be increased to 30 feet.

⁽¹⁰⁾ At all driveway access locations along all roadways adequate sight distance shall be provided by avoiding the placement of structures, signs, landscaping, and other objects that would obstruct the vision of drivers. Determinations shall be made at the time of each development review.

⁽¹¹⁾ No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.

Table 4.3.1 – General Development Standards (East of Walker Street)

Development Feature	Development Standard	
	BP	CO, PO
Maximum Floor Area Ratio		1.0
Maximum Building Height ⁽¹⁾		55 ft
Minimum Front Yard and Street Side Yard Setbacks ⁽²⁾		
Adjacent to Camden Dr	–	15 ft
Adjacent to Cerritos Ave		40, 50, or 100 ft ⁽³⁾
Adjacent to Corporate Ave	–	15 ft
Adjacent to Douglas Dr	–	20 ft
Adjacent to Holder St	20 ft	–
Adjacent to Katella Ave		20 ft
Adjacent to a Local Street ⁽⁴⁾		15 ft
Adjacent to McDonnell Dr	–	20 ft
Adjacent to Plaza Dr		20 ft
Adjacent to Valley View St	0 ⁽⁵⁾ or 20 ft	0 ft ⁽⁵⁾
Adjacent to Knott Ave	–	20 ft
Adjacent to Walker St		30 ft ⁽⁶⁾
Minimum Interior Side Yard and Rear Yard Setbacks		
Adjacent to Business Park or Commercial Parcels		5 ft
Adjacent to Residential Uses		40 ft
Adjacent to Stanton Storm Channel	40 ft ⁽⁷⁾	–
Minimum Surface Parking Setback from a Street		10 ft
Minimum Parking Structure Setback from a Street		15 ft
Off-Street Parking ^{(8) (9) (10) (11)}	See CZO § 2.07.050 and § 14	See CZO § 2.06.050 and § 14

⁽¹⁾ Maximum building height shall be subject to review and determination by the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations. No building shall be permitted to penetrate imaginary surfaces related to hazards or obstructions, in accordance with FAR Part 77 and other applicable FAA standards, including Terminal Instrument Procedures (TERPS). The maximum building height excludes any roof mounted equipment and/or architectural details.

⁽²⁾ Raised planters not exceeding 3 feet in height shall observe an 18-inch setback from street frontage property lines. Raised planters over 3 feet in height, flag poles, and banner mounts shall observe the minimum surface parking setback requirement. In all cases, safe sight lines for pedestrian and vehicular traffic must be maintained.

⁽³⁾ Adjacent to Cerritos Ave, all buildings 40 feet in height or less shall provide a minimum setback of 40 feet. All buildings greater than 40 feet in height but less than or equal to 45 feet in height shall provide a minimum 50-foot setback. All buildings greater than 45 feet in height but less than or equal to 55 feet in height shall provide a minimum 100-foot setback.

⁽⁴⁾ Local Streets refer to the streets that are not identified as Major, Primary, or Secondary Roadways in the General Plan. This includes, but is not limited to: Phyllis Drive, Hope Street, Business Center Drive, Commerce Drive, Global Drive, Yamaha Way, International Avenue, Meridian Drive, and Corporate Avenue.

⁽⁵⁾ On the properties north of Katella Avenue and adjacent to Valley View Street, the building setback from the property line may be 0, since the 60-foot wide Bolsa Chica Channel separates the subject site from the Valley View Street right-of-way. The channel is located underground, which allows landscaping, surface parking and access roads to be located over the channel, subject to the

approval of the Orange County Flood Control District. The setback standards at this edge would provide a 68-foot building and parking structure setback (from curb), and a 38-foot surface parking setback (from curb), which would be landscaped.

⁽⁶⁾ Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.

⁽⁷⁾ Or a distance equal to the height of the building, whichever is greater.

⁽⁸⁾ As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.

⁽⁹⁾ Where driveways have been provided to permit access to the rear of a building, the minimum driveway width shall be 25 feet. Such driveway shall be maintained free and clear of any obstruction. Where a driveway is provided directly adjacent to the side of a building with openings, said driveway shall be increased to 30 feet.

⁽¹⁰⁾ At all driveway access locations along all roadways adequate sight distance shall be provided by avoiding the placement of structures, signs, landscaping, and other objects that would obstruct the vision of drivers. Determinations shall be made at the time of each development review.

⁽¹¹⁾ No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.

4.3.2 Development Standards Applicable to Property Located West of Walker Street

The provisions in this section are applicable to property located west of Walker Street, which includes the land use designations provided in **Figure 4-2**.

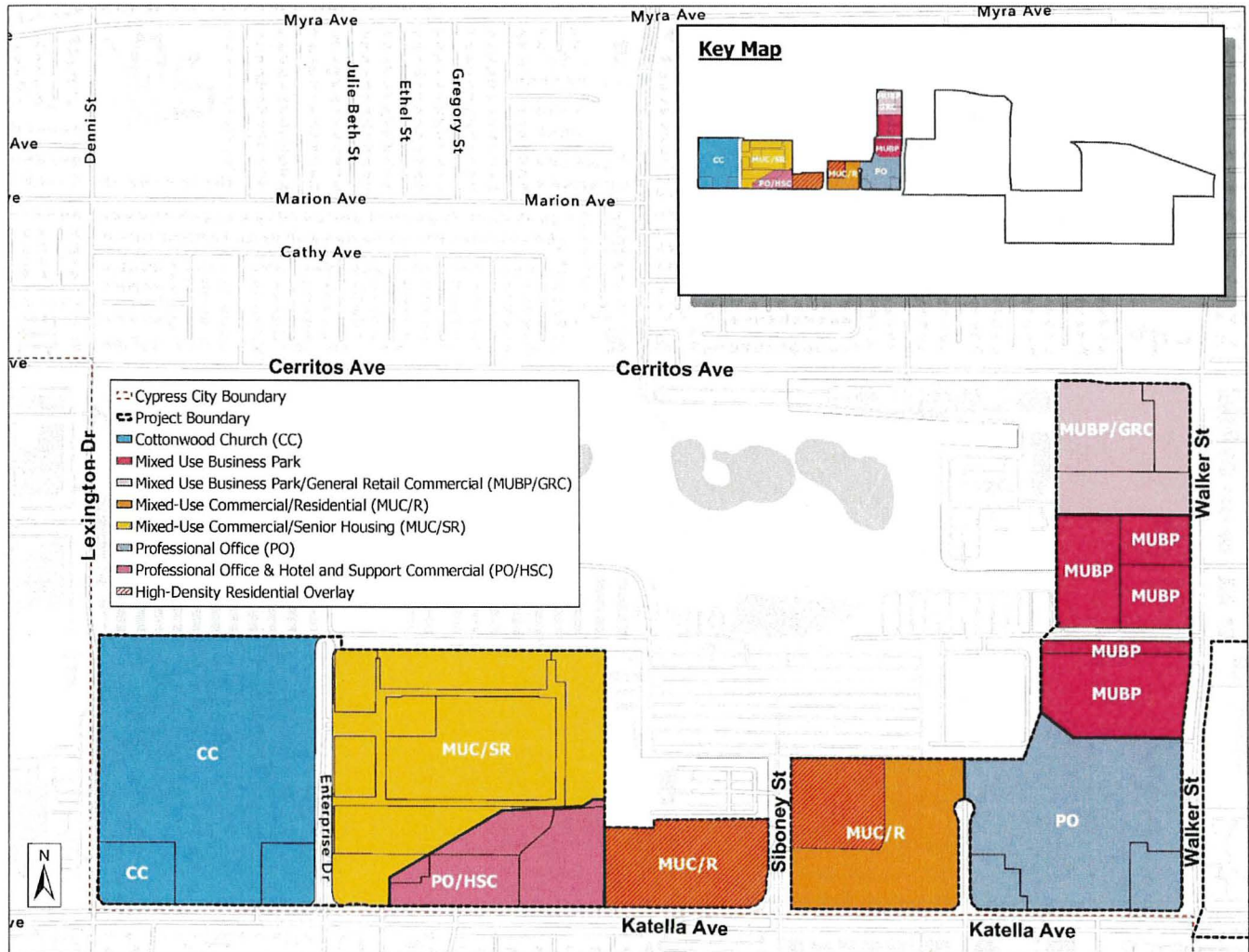


Figure 4-3 Property Located West of Walker Street

Table 4.3.2 – General Development Standards (West of Walker Street)

Development Feature	PO, PO/HSC		MUBP, MUBP/GRC		MUC/SR ⁽¹⁾ , MUC/R, HDR Overlay				CC
	PO	HSC	MUBP	GRC	MUC	SR ^{(2) (3)}	R ^{(2) (3)}	HDR Overlay ^{(2) (3)}	
Minimum Lot Area	20,000 ft²	20,000 ft²	20,000 ft²	20,000 ft²	10,000 ft²	10,000 ft²	10,000 ft²	10,000 ft²	(23)
Minimum Parcel Width	100 ft ⁽⁴⁾	100 ft ⁽⁴⁾	100 ft ⁽⁴⁾	100 ft ⁽⁴⁾	50 ft	100 ft	50 ft	50 ft	
Minimum Parcel Depth	-	-	-	-	-	100 ft	-	-	
Maximum Site Coverage	(5)	(5)	(5)	(5)	-	60%	(5)	(5)	
Maximum Floor Area Ratio	1.0	1.0	1.0	1.0	1.0	-	-	-	1.0
Maximum Density	-	-	-	-	-	20 du/ac ⁽⁶⁾	19 du/ac	60 du/ac	(23)
Maximum Building Height	99 ft ⁽⁷⁾	99 ft ⁽⁷⁾	50 ft ^(7, 8)	50 ft ^(7, 8)	99 ft ⁽⁷⁾	55 ft ⁽⁷⁾	99 ft ⁽⁷⁾	99 ft ⁽⁷⁾	
Minimum Front Yard Setbacks	(9)	(9)	-	-	-	10 ft	-	-	
Katella Avenue	-	-	-	-	25 ft ⁽¹⁰⁾	-	15 ft	15 ft	
Siboney Street	-	-	-	-	10 ft	-	10 ft	10 ft	
Winner’s Circle	-	-	-	-	10 ft	-	10 ft	10 ft	
Cerritos Avenue	-	-	40 ft ⁽¹¹⁾	40 ft ⁽¹¹⁾	-	-	-	-	
Walker Street	30 ft ⁽¹²⁾	-	30 ft ⁽¹²⁾	30 ft ⁽¹²⁾	-	-	-	-	
Minimum Street Side Yard Setbacks	(9)	(9)	-	-	-	10 ft	-	-	
Katella Avenue	-	-	-	-	25 ft ⁽¹⁰⁾	-	15 ft	15 ft	
Siboney Street	-	-	-	-	10 ft	-	10 ft	10 ft	
Winner’s Circle	-	-	-	-	10 ft	-	10 ft	10 ft	
Cerritos Avenue	-	-	40 ft ⁽¹¹⁾	40 ft ⁽¹¹⁾	-	-	-	-	
Walker Street	30 ft ⁽¹²⁾	-	30 ft ⁽¹²⁾	30 ft ⁽¹²⁾	-	-	-	-	
Minimum Side Yard Setbacks	-	-	-	-	-	5, 10 ft ⁽¹³⁾	-	-	
Minimum Rear Yard Setbacks	-	-	-	-	-	5 ft	-	-	
Minimum Setbacks to Adjacent Uses	-	-	-	-	-	-	-	-	
Town Center Specific Plan Uses	-	-	-	-	-	-	5 ft ⁽¹⁴⁾	5 ft ⁽¹⁴⁾	
Mixed-Use Business Park or Commercial Uses	-	-	5 ft ⁽¹⁵⁾	5 ft ⁽¹⁵⁾	5 ft ⁽¹⁵⁾	-	-	-	
Distance Between Structures on the Same Parcel	-	-	-	-	-	⁽¹⁶⁾	-	-	
Off-Street Parking ⁽¹⁷⁾	See CZO § 2.06.050 and § 14					See CZO § 2.05.050 and § 14 ^{(18) (19)}	See CZO § 2.05.050 and § 14 ⁽²⁰⁾	See CZO § 2.05.050 and § 14 ⁽²⁰⁾	
Minimum Landscape Coverage	-					25% ⁽²¹⁾			
Minimum Common Open Space	-					200 ft²/du ⁽²²⁾			
Minimum Private Open Space	-					50 ft²/du			

“-“ = Not applicable

- (1) As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.
- (2) Accessory Dwelling Units: Refer to Section 3.17.200 (Accessory dwelling units) in the Cypress Zoning Ordinance for objective standards applicable to all accessory dwelling units.
- (3) Multi-Family Residential: Refer to Section 3.17.310 (Objective standards for multi-family dwellings) in the Cypress Zoning Ordinance for objective site planning and design standards applicable to all multi-family residential development.
- (4) Along a street frontage.
- (5) Site coverage, defined as the building-ground contact area divided by the total net lot area, shall not exceed 60% if surface parking is provided and 70% with parking structures providing all or part of the parking spaces.
- (6) The maximum allowable density within the MUC/SR land use designation shall be 20 du/ac, provided that an assisted living facility shall not be considered a multi-family dwelling and no portion of any such facility shall constitute a dwelling unit.
- (7) In compliance with Federal Aviation Regulations (FAR) Part 77, applicants proposing structures that penetrate the 100:1 Notification Surface must file a Form 7460-1, Notice of Proposed Construction or Alteration with the Federal Aviation Administration (FAA). A copy of the FAA application must also be submitted to the Airport Land Use Commission (ALUC), and the applicant must provide the City with FAA and ALUC responses. Structures shall not penetrate FAR Part 77 Obstruction—Imaginary Surfaces for Joint Forces Training Base – Los Alamitos unless approved by the ALUC. For purposes of Part 77 FAR and ALUC, the maximum building height includes any roof mounted equipment and/or architectural details.
- (8) Buildings adjacent to Cerritos Avenue shall not exceed 40 feet in height.
- (9) All buildings 45 feet in height or less shall have a minimum setback of 25 feet. All buildings greater than 45 feet in height but less than 85 feet in height shall have a minimum 100-foot setback. All buildings greater than 85 feet in height shall have a minimum 200-foot setback.
- (10) Katella Avenue shall have a minimum front and street side yard building setback of 25 feet. The first 20 feet of the 25-foot building setback shall be landscaped.
- (11) Adjacent to Cerritos Avenue, all buildings shall have a minimum 40-foot setback. The first 20 feet adjacent to the street must be landscaped.
- (12) Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.
- (13) For single-story dwellings, the interior side yard setbacks shall be 5 feet and for two-story dwellings, the interior side yard setbacks shall be 10 feet.
- (14) Applies to interior setback from the Town Center Specific Plan, measured from the property line.
- (15) Along property lines that separate mixed use business park or commercial uses there shall be a setback of 5 feet, which may be reduced to 0 feet, subject to approval from the Design Review Committee.
- (16) The minimum distance between structures on the same parcel, where neither structure exceeds 15 feet in height, shall be 6 feet. The minimum distance between structures on the same parcel, where one or both structures exceed 15 feet in height, shall be 10 feet.
- (17) No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.
- (18) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that senior housing must provide a minimum total of one garage space for each dwelling unit and one uncovered guest space for every 20 dwelling units.
- (19) For minimum driveway widths, see Table 2-3 in Section 2.05.040 (Residential zoning district general development standards) of the Cypress Zoning Ordinance.
- (20) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that residential developments must provide a minimum of 1.65 spaces per dwelling unit, which includes 0.2 spaces per unit designated for visitor parking.
- (21) Includes pedestrian walkways, drives, and hardscape improvements.
- (22) Common Open Space shall be devoted to landscaping, patios, enclosed club and fitness rooms, and outdoor facilities such as recreational facilities, pools, and areas devoted to dogs. These areas can include pedestrian walkways, drives and hardscape improvements to support access and use of the common open space/recreational facilities. The above listed common open space facilities may be counted towards credit for private open space facilities under Article VI in Chapter 25 (Subdivisions) of the Cypress City Code.
- (23) The development standards applicable to the PS-1A Zoning District in Cypress Zoning Ordinance shall be applicable to Cottonwood Church.

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- (1) As an alternative to meeting the parking requirements in this Specific Plan or the Zoning Ordinance, a developer may submit a parking study during the review process to justify adjustments. If approved, the parking requirements for the project may differ from those in this Specific Plan or the Zoning Ordinance based on the study's findings.
- (2) Accessory Dwelling Units: Refer to Section 3.17.200 (Accessory dwelling units) in the Cypress Zoning Ordinance for objective standards applicable to all accessory dwelling units.
- (3) Multi-Family Residential: Refer to Section 3.17.310 (Objective standards for multi-family dwellings) in the Cypress Zoning Ordinance for objective site planning and design standards applicable to all multi-family residential development.
- (4) Along a street frontage.
- (5) Site coverage, defined as the building-ground contact area divided by the total net lot area, shall not exceed 60% if surface parking is provided and 70% with parking structures providing all or part of the parking spaces.
- (6) The maximum allowable density within the MUC/SR land use designation shall be 20 du/ac, provided that an assisted living facility shall not be considered a multi-family dwelling and no portion of any such facility shall constitute a dwelling unit.
- (7) Ultimately, building heights shall be subject to review by the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations. No building shall be permitted to penetrate imaginary surfaces related to hazards or obstructions, in accordance with FAR Part 77 and other applicable FAA standards, including Terminal Instrument Procedures (TERPS). The maximum building height excludes any roof mounted equipment and/or architectural details.
- (8) Buildings adjacent to Cerritos Avenue shall not exceed 40 feet in height.
- (9) All buildings 45 feet in height or less shall have a minimum setback of 25 feet. All buildings greater than 45 feet in height but less than 85 feet in height shall have a minimum 100-foot setback. All buildings greater than 85 feet in height shall have a minimum 200-foot setback.
- (10) Katella Avenue shall have a minimum front and street side yard building setback of 25 feet. The first 20 feet of the 25-foot building setback shall be landscaped.
- (11) Adjacent to Cerritos Avenue, all buildings shall have a minimum 40-foot setback. The first 20 feet adjacent to the street must be landscaped.
- (12) Walker Street shall have a minimum front and street side yard setback of 30 feet. The minimum distance from the property line to surface parking shall be 20 feet.
- (13) For single-story dwellings, the interior side yard setbacks shall be 5 feet and for two-story dwellings, the interior side yard setbacks shall be 10 feet.
- (14) Applies to interior setback from the Town Center Specific Plan, measured from the property line.
- (15) Along property lines that separate mixed use business park or commercial uses there shall be a setback of 5 feet, which may be reduced to 0 feet, subject to approval from the Design Review Committee.
- (16) The minimum distance between structures on the same parcel, where neither structure exceeds 15 feet in height, shall be 6 feet. The minimum distance between structures on the same parcel, where one or both structures exceed 15 feet in height, shall be 10 feet.
- (17) No overnight parking of vehicles shall be allowed other than those used in conjunction with a permitted use.
- (18) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that senior housing must provide a minimum total of one garage space for each dwelling unit and one uncovered guest space for every 20 dwelling units.
- (19) For minimum driveway widths, see Table 2-3 in Section 2.05.040 (Residential zoning district general development standards) of the Cypress Zoning Ordinance.
- (20) Parking requirements shall conform to the Cypress Zoning Ordinance, with the exception that residential developments must provide a minimum of 1.65 spaces per dwelling unit, which includes 0.2 spaces per unit designated for visitor parking.
- (21) Includes pedestrian walkways, drives, and hardscape improvements.
- (22) Common Open Space shall be devoted to landscaping, patios, enclosed club and fitness rooms, and outdoor facilities such as recreational facilities, pools, and areas devoted to dogs. These areas can include pedestrian walkways, drives and hardscape improvements to support access and use of the common open space/recreational facilities. The above listed common open space facilities may be counted towards credit for private open space facilities under Article VI in Chapter 25 (Subdivisions) of the Cypress City Code.
- (23) The development standards applicable to the PS-1A Zoning District in Cypress Zoning Ordinance shall be applicable to Cottonwood Church.

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4.3.3 Development Standards Applicable to All Property

The following standards are applicable to all property within the CBPSP area. All improvements must comply with the development standards listed below and must be approved by the Planning Division and Building Division, as applicable.

A. Landscaping

1. General Landscaping Requirements:

- a. All required setback areas abutting a public street shall be landscaped (except for walks and driveways which provide access from a public right-of-way). Exceptions to this requirement apply to the following areas:
 - i. Boundary landscaping abutting Cerritos Avenue is required to a minimum depth of 20 feet.
 - ii. Boundary landscaping abutting Valley View Street on properties located north of Katella Avenue is required to a minimum depth of 38 feet, including a 10-foot-wide bicycle/pedestrian path.
- b. All areas not covered by buildings, structures, paving, or impervious surfaces shall be landscaped and irrigated to enhance the site's aesthetics and environmental quality.
- c. One minimum 15-gallon tree shall be provided for every 200 square feet of landscaped area. A minimum of 20 percent of the required trees shall be a 24-inch box. Trees shall be strategically placed to provide shade for paved areas, building walls, roofs, and windows, mitigating heat gain effects.
- d. One shrub shall be provided for every 25 square feet of landscaped area. A minimum of 50 percent of the required shrubs shall be 5-gallons.
- e. At least 50 percent of all landscaped areas containing trees and shrubs shall be underplanted with groundcover, with the remaining areas to incorporate a minimum 2-inch layer of mulch.
- f. Landscape areas, except for vine pockets, shall have a minimum dimension of five feet. Nonliving ornamental landscape materials shall be limited to five percent of the landscape area and shall consist of permeable materials.
- g. Landscaping shall not interfere with security surveillance of the building and parking areas.

- h. Non-functional turf is prohibited.
- i. Efficient irrigation systems shall be installed to minimize runoff and evaporation, ensuring maximum water delivery to plant roots.
- j. All landscaping materials shall be consistent with Appendix A (Plant Palette) of this Specific Plan.

2. Parking Lot Landscaping:

- a. Each off-street parking area shall provide landscaped area(s) equivalent to 20 square feet for each parking space. Such landscaping shall be provided along the periphery of the parking area and shall consist of trees and plant material. At minimum, one 15-gallon tree for each 10 parking spaces shall be provided in these landscaped areas. In addition, a minimum of one 24-inch box canopy tree shall be provided in the interior portions of the parking area for each 1,500 square feet of parking area. Required landscaped yard or setback areas shall not be construed as satisfying a portion of the landscaped area required by this Subsection.
- b. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least 6 inches higher than the adjacent vehicular area or shall be protected from vehicular damage in some manner.
- c. A 2-foot parking overhang into landscape areas, in lieu of concrete wheel stops, is encouraged, however, this 2-foot overhang is in addition to the required landscaped area.
- d. Any unused space resulting from the design of the parking area shall be used for landscape purposes.
- e. All parking structures shall be landscaped, both along the building periphery and at entries and exits creating a transition to human scale.

3. Streets and Intersections: Landscaping along all streets and boundaries shall have a maximum height of 3½ feet within 15 feet of the point of the intersection of: 1) a vehicular accessway or driveway and a street, 2) a vehicular accessway or driveway and a sidewalk, and 3) two or more vehicular accessways, driveways, or streets.

4. Maintenance: All required landscaped areas shall have permanent and adequate irrigation systems. Landscaping must also be maintained to ensure plants remain healthy, pruned, and free of disease, with ground cover providing consistent coverage. Landscaping must not interfere with the maintenance or repair of utilities, restrict pedestrian or vehicular access, or create traffic hazards by obstructing visibility. Additionally, property owners must ensure that all

landscaping is kept in a condition that upholds the aesthetic quality of the business park. Landscape maintenance may be turned over to the property owners at a future time.

5. **Water Conservation and Quality:**

- a. **Water Efficient Landscape Requirements:** Refer to Article I Water Efficient Landscape Requirements of Chapter 29 Water Conservation in the Cypress City Code for applicable landscape water use standards and guidelines, including but not limited to Maximum Applied Water Allowance (MAWA).
- b. All projects shall comply with State and local regulations for pollutant discharge and water quality. Methods to achieve compliance may include oil/water separators, catch basin inserts, sand filters, vaults, trenches, dry wells, roof downspout infiltration, porous pavement, grid pavers, grass swales, and other similar features.
- c. Landscaping and site design shall prioritize elements, such as bioswales and other biotreatment solutions, that absorb water runoff, improve water quality, and reduce pollutant discharge.
- d. Ground surfaces in open space areas shall maximize the use of permeable materials to reduce stormwater runoff and facilitate infiltration into the water table. Where significant permeable areas cannot be provided on-site, the collection, storage and re-use of stormwater shall be incorporated.

6. **Hardscape Elements**

- a. **Integration and Design:** Hardscape features such as light fixtures, benches, trash receptacles, and planters shall be thoughtfully integrated into plazas, courtyards, and transitional areas to establish a cohesive visual and physical connection between buildings and landscape materials. Primary materials for walls, fences, paving, lighting, and street furniture shall complement and enhance the architectural design, creating a unified aesthetic throughout the project. Materials designated for hardscape elements must adhere to the following guidelines.
- b. **Paving:**
 - i. **Durability:** Paving materials shall be durable and capable of withstanding heavy vehicle loads and foot traffic. Recommended materials include concrete, asphalt, or interlocking pavers with a minimum compressive strength of 5,000 psi. All paving must be slip-resistant and designed to minimize cracking and deterioration.

- ii. **Design:** Paving shall complement the architectural style and landscaping of the development. Colored or textured paving materials may be used to delineate pedestrian pathways or driveways. All paved surfaces must comply with ADA accessibility requirements.

c. **Furniture:**

- i. **Materials:** Furniture such as benches, trash receptacles, and bike racks shall be constructed of high-quality, weather-resistant materials (e.g., powder-coated steel, treated wood, or reinforced concrete) to withstand outdoor elements and heavy use. Materials shall be low-maintenance and vandal-resistant to ensure long-term durability.
- ii. **Placement:** Furniture shall be strategically positioned to enhance pedestrian comfort without obstructing circulation or accessibility. Benches shall be located near building entrances, along walkways, and in plazas, maintaining a minimum clearance of 4 feet around furniture to meet ADA standards. Trash receptacles shall be conveniently placed near seating areas while positioned outside pedestrian pathways to avoid obstructions.

B. Truck and Loading Areas

1. **Orientation:** Truck loading docks, wells, or doors shall not face a public street or residential area, nor encroach into the required front and street side yard setbacks. These facilities may face a public street or residential neighborhood only if screened and approved by the Design Review Committee.
2. **On-Site Loading:** Each site must provide for necessary vehicle loading, with no on-street loading allowed.
3. **Setback:** All loading facilities shall be set back at least 40 feet from the property line, with deviations permitted upon approval from the Design Review Committee.
4. **Design:** Loading facility doors shall be a color that is compatible with the main building.
5. **Circulation:** Site layouts shall facilitate efficient vehicle and pedestrian movement, ensuring adequate space for truck staging, emergency vehicle access, and maneuvering. Service entrances shall be located to prevent conflicts with front entries, and loading areas shall be designed to ensure they do not interfere with on-site pedestrian and vehicular circulation by keeping them separating from public parking and entry areas.

C. Fences and Walls

1. **Maximum Height:** Walls or fences located within required setback areas adjacent to streets or within 15 feet of the intersection of a driveway and street right-of-way (public or private) shall not exceed 3½ feet in height. Walls or fences located in all other areas shall not exceed 8 feet in height.

D. Lighting

1. **Location:** Adequate lighting shall be provided for all building entrances/exits, parking areas, truck courts, vehicle and pedestrian circulation, building exteriors, service areas, courtyards, arcades, and seating areas.
 2. **Light Quality and Intensity:** Lighting for streets, parking areas, and the project site shall provide varying intensities, with emphasis on high-traffic areas. Uniform illumination is required for parking lots and driveways, with gradual transitions in light intensity between major points of interest to maintain safety. Pedestrian lighting shall be subdued and warm-white in tone. A consistent light color is preferred, and the use of high-pressure sodium lights is encouraged. All lighting must comply with the intensity standards outlined in Section 3.11.060 Exterior Lighting of the Cypress Zoning Ordinance.
 3. **Design:** All light standards and fixtures shall be selected to blend with architectural and landscaping design. Security lighting fixtures shall not project above the fascia or roof line of the building. All lighting shall be positioned, shielded, and/or designed to prevent direct projection onto adjacent properties or the right-of-way. The shields shall be painted to match the surface to which attached.
 4. **Pedestrian Areas:** Light fixtures in pedestrian areas shall not exceed 12 feet in height.
 5. **Parking Areas:** Light standards and fixtures in parking areas shall not exceed 25 feet in height.
 6. **Streetlights:** Light standards adjacent to streets shall not exceed 35 feet in height and be of a consistent and high-quality design. All streetlights within the public right-of-way shall meet City of Cypress Public Works street lighting guidelines and requirements, or as approved by the City Engineer.
 7. **AELUP Compatibility:** Exterior lighting shall be consistent with the Los Alamitos Joint Forces Training Base Airport Environs Land Use Plan.
- than 3 feet and not more than 3½ feet. Where there is a difference in elevation on opposite sides of the screen, the total height shall be measured from the highest elevation.
2. **Trash Enclosures, Truck Courts, Loading, and Service Areas:** Trash enclosures, truck courts, loading bays, and service areas shall be screened using landscaping, walls, or other elements to minimize visibility. These areas shall not pose a hazard to or conflict with the movement of automobiles, pedestrians, or bicycles.
 3. **Storage Areas:** Storage is only permitted within fully enclosed buildings or structures, unless otherwise approved by the Design Review Committee. Any approved outdoor storage must be accessory to the permitted use on the premises, confined to the rear two-thirds of the property, and fully screened from view using landscaping, walls, slatted fencing, buildings, or a combination of these methods to a height that conceals the items from neighboring properties and streets.
 4. **Exterior Mechanical Equipment:**
 - a. Exterior components of plumbing, processing, heating, cooling, and ventilating systems (e.g., piping, tanks, fans, ducts, etc.) shall not be visible from 5 feet above ground level within 500 feet of any building wall, unless approved by the Design Review Committee. Mechanical equipment shall be screened from view of streets, highways, and residential areas with materials and colors consistent with the building design and/or landscaping. All such mechanical equipment shall be designed as an integral part of the building and be maintained in a clean and proper condition.
 - b. Roof-mounted mechanical equipment and ductwork shall be screened with unobtrusive enclosures that blend with the building's design and comply with State of California safety and OSHA standards. When possible, building parapets shall be tall enough to eliminate the need for additional screening. Roof top mechanical equipment and screening shall be setback 15 feet (unless the screening is an integral part of the facade) from an exterior building edge.
 - c. Cyclone blowers shall be screened by a wall, fence, or landscape materials and shall be located below the fascia and/or roof line of the building. They shall also be located on the rear or "hidden" side of the building and painted to match the surface to which they are attached.
 5. **Exterior Electrical Equipment and Transformers:** Electrical equipment shall be mounted on the interior of a building wherever possible. When interior mounting is not practical, electrical equipment shall be mounted in a location where it

E. Screening and Noise Attenuation

1. **Parking Lots and Parking Structures:** A minimum 5-foot-wide bermed and landscaped screen shall be installed along all parking areas abutting a roadway. Except as otherwise provided, the screening shall have a total height of not less

is least visible and substantially screened from public view. In no case shall exterior electrical equipment be mounted on the street-side or primary exposure side of any building.

6. **Building Fixtures:** Vents, louvers, exposed flashing, tanks, stacks, overhead doors, rolling and "man" service doors shall be painted consistent with the color scheme of the building.
7. **Plazas and Open Spaces:** Plazas and open spaces shall be sheltered from noise-generating nuisances, trash enclosures, parking areas, and other incompatible uses to the greatest extent possible.
8. **Noise Attenuation:** Industrial developments which adjoin residentially zoned areas shall include noise bafflers and/or deflectors on all mechanical equipment mounted outdoors to the satisfaction of City staff.

F. Refuse Collection Areas

1. **Compliance:** Refuse collection areas shall be designed and constructed in accordance with all state laws and Section 3.11.120 (Solid waste, organic waste, and recyclable materials storage) of the Cypress Zoning Code.

G. Utilities

1. **Underground:** All exterior on-site utilities including, but not limited to, drainage systems, sewers, gas lines, water lines, and electrical, telephone and communications wires and equipment shall be installed and maintained underground.
2. **Design and Installation:** On-site underground utilities shall be designed and installed to minimize the disruption of off-site utilities, paving, and landscape during construction and maintenance and shall be of such a design so as not to place excessive burdens upon off-site utility systems during the course of use.
3. **Temporary Utilities:** Temporary overhead power and telephone facilities shall be permitted during construction.

H. Signage

1. General Requirements:

- a. Signage for individual buildings shall not be allowed to conflict or interfere visually with other signage. To support this, a "human scale" shall be maintained in all sign designs.
- b. A sign shall be defined as including all parts, materials, frames and backgrounds, measured to the nearest geometric configuration.
- c. Logos or identification symbols shall be considered signs. Sign information should be limited to tenant's trade name, logo, and/or logo type.
- d. All signs and their supporting structures shall be enclosed, structurally safe, and maintained in good condition.
- e. Signs visible from the exterior of any building may be lighted, but no signs or any other contrivance will be devised or constructed to rotate, gyrate, blink or in any fashion.
- f. All cabinets, conductors, transformers or other equipment must be concealed from public view.
- g. All signs and their supporting structures shall comply with the City building and electrical codes.

2. **Sign Programs:** A sign program promotes aesthetically cohesive and consistent signage for developments, ensures alignment with the City's zoning regulations, and enhances effective business identification. Developing a sign program is encouraged for all multi-tenant developments and may also be adopted by single-tenant developments at their discretion.

3. **Building Identification Signs:** Each street frontage is allowed one building identification sign, which must be affixed to a vertical building surface, integrated with the architectural design, single-faced, illuminated, and no larger than 100 square feet in area. Building identification signs should solely display the building name, without any advertising content.

4. **Business Identification Signs:** Business identification signs should solely display the business name, symbol, or logo, without any advertising content.

a. **Wall Signs:**

- i. No wall sign shall exceed an area equal to 1½ square feet of sign for each one foot of lineal frontage of the building or store, fronting on a street or parking lot. No sign shall exceed 150 square feet of area nor comprise more than 10% of the area of the elevation upon which the sign is located.
- ii. In multi-tenant industrial buildings, each business shall be permitted to install a wall sign over the entrance to identify the tenant. Said signs shall be oriented toward the street, parking or pedestrian area for that building and shall not exceed one square foot of sign area for each lineal foot of building frontage up to a maximum of 20 square feet.
- iii. Restaurants may have one wall sign for each building face not to exceed a total of 3 wall signs. The front sign shall not exceed one square foot of sign area for each linear foot of front building elevation. Side or rear signs shall not exceed one square foot of sign area for every two linear feet of the side or rear elevation.
- iv. Wall signs shall be composed of wood, metal, plastic (Plexiglas or Fiberglass), paint or comparable weather-resistant material.

b. **Ground Signs and Freestanding Signs:**

- i. Ground signs shall not exceed 6 feet above grade in height or more than 1½ square feet in area for each one foot of lineal building or store frontage. Frontage shall be defined as the face of a building or store that fronts a street. However, no sign shall exceed 150 square feet in area. No sign may block the view of vehicles turning, as determined by the City Engineer.
- ii. For commercial uses, in lieu of a ground sign, one freestanding identification sign may be allowed provided that it does not exceed 25 feet in overall height or 150 square feet in area.
- iii. All freestanding signage structures shall be cast in concrete, or a substitute material approved by the Planning Division with the design approach being one of monolithic permanence. Lighting for these signs can utilize flood lights located at their base to provide a wash of light over the structure. Signage lettering and numbering may be case letter (cast into structure or raised-case letters fixed to the face

of the structure), self-lit type, sandblasted into wall surface or onto wood.

5. **Entry Sign:** Entry monument signs shall be permitted adjacent to the primary project entries and shall not exceed 4 feet in height and 40 square feet in size per face on each sign. Secondary entry signs shall not exceed 2.5 feet in height and 15 square feet in size per face on each sign. Number, location and area are subject to Planning Division approval.

6. **Vehicular and Pedestrian Directional Signs:** Vehicular directional sign shall not exceed 6 feet in height and 15 square feet in size per face on each sign. Pedestrian directional sign shall not exceed 5 feet in height and 15 square feet in size per face on each sign. Directional signs shall not obstruct views of turning vehicles. Total number of such signs shall be subject to the review and approval of the Planning Division.

7. **Temporary Signs:**

- a. Onsite unlighted subdivision signs shall be allowed for a non-renewable period of one year, provided that one sign is allowed per project, the sign area per face shall not exceed 100 square feet, it is erected only for the purpose of announcing the subdivision and sale or rental of the property where located, and that it is approved by the Planning Division.
- b. Refer to Section 15 (Signs) of the Cypress Zoning Ordinance for requirements applicable to political campaign signs.
- c. Banners, flags, aerial signs, and other non-exempted temporary signs shall be allowed for a non-renewable period of 30 days, subject to approval of a temporary sign permit from the Planning Division. No more than two temporary sign permits may be issued per business per year. Temporary sign permits should only be issued for grand openings, open houses, or special events, as approved by the Planning Division.
- d. One unlighted real estate sign per frontage, not exceeding 48 square feet in size, pertaining only to the sale, lease, or rental of the particular commercial or office building or property.
- e. One unlighted construction sign per job site, not exceeding 32 square feet containing the name of the project, and the names and addresses of the contractors, architects, engineers, landscape architect, project or leasing agent, financing company, or developer.

8. **Prohibited Signs:**

- a. Inflatable signs, balloons, animals, symbols, etc.
- b. Rooftop signs
- c. Signage in or on windows
- d. Signs on trailers or painted on the sides of large disabled or parked vehicles.
- e. Signage painted directly onto windows or exterior walls
- f. Projecting signs
- g. Magnetic signs
- h. Rotating or moving signs
- i. Flashing signs with the exception of changeable copy signs subject to the approval of a Conditional Use Permit and in compliance with all applicable provisions of the Cypress Zoning Ordinance
- j. Billboards
- k. Pole signs

I. Performance Standards

1. Any permitted use shall be performed or carried out entirely within a building that is designed and constructed so that the enclosed operations and uses do not cause or produce a nuisance to adjacent sites, such as but not limited to the following: radio frequency interference, sound, vibration, electromechanical disturbance, electromagnetic disturbance, radiation, air pollution, dust, emission of toxic or non-toxic odors, or toxic and non-toxic matter. Further, any permitted use shall meet all applicable performance standards specified in Section 10 (Performance Standards) of the Zoning Ordinance that do not conflict with any of the provisions of this Specific Plan.

CHAPTER 5. DESIGN STANDARDS

Urban Design Standards for the CBPSP

5.1 Introduction and Purpose

This chapter establish clear design standards to ensure high-quality development within the CBPSP area. The standards aim to:

- Reinforce the unique character of the CBPSP area.
- Promote attractive, functional, and sustainable development that adds value to the community.
- Ensure cohesive design for buildings, landscaping, and site planning.
- Promote energy and water conservation in construction and landscaping.
- Align with the vision, goals and policies of the CBPSP and Cypress City Code.

5.1.1 Chapter Organization

This chapter is organized as follows:

Section 5.2 Design standards for development located east of Walker Street

Section 5.3 Design standards for development located west of Walker Street

Section 5.4 Edge Design Standards

5.1.2 Applicability

These standards and guidelines shall apply to all new construction, demolition, addition, remodeling, and alteration projects. Design standards for residential uses located within the MUC/SR and MUC/R land use designations shall be subject to the provisions provided in Section 3.17.310 (Objective Standards for Multi-Family Dwellings) of the Cypress Zoning Ordinance.

5.2 Design Standards for Development East of Walker Street

5.2.1. Site Planning and Design

- A. **Building Placement and Orientation:** Building placement shall maximize opportunities for daylight and support energy efficiency. Street-adjacent buildings shall be oriented towards street frontages to create an inviting public edge.
- B. **Major Building Entrances:** Major entries shall be highlighted with enhanced paving, landscaping, and clear signage.
- C. **Pedestrian Accessibility:** Direct and visible pedestrian pathways shall connect streets, parking areas, and sidewalks to building entrances. Crosswalks and walkways in parking lots shall be accentuated using raised, colored, or textured pavement, and roadways shall be narrowed to improve visibility and ensure pedestrian safety.
- D. **Parking Design:** Parking areas shall consist of smaller, interconnected lots with shared driveways and landscape islands to reduce visual dominance. Parking areas shall be designed to ensure vehicles can maneuver without encroaching into the public right-of-way. Designated areas for motorcycle and bicycle parking shall be incorporated within the site.
- E. **Parking Structure Design:** Parking structure facades shall blend seamlessly with surrounding buildings through architectural elements such as arches, attractive entrances, varied building materials, decorative screening, or climbing vines to enhance visual appeal.
- F. **Outdoor Spaces:** Plazas, patios, terraces, courtyards, or similar outdoor spaces shall be integrated into the development and must include amenities such as tables, seating, canopy trees, lighting, and trash receptacles to promote outdoor activity.

RECOMMENDED



Loading areas separated from parking and building entrances

Major entry highlighted with landscaping.

RECOMMENDED



Walkways used in parking lots to separate pedestrians and vehicles with a landscaped buffer

Canopy trees provided in parking lots for vehicles and pedestrians

NOT RECOMMENDED



No perimeter sidewalks to enhance walkability

No outdoor spaces with amenities provided

G. Screening and Buffers:

1. A perimeter buffer zone shall be established around a site using a combination of dense vegetation, earth berms, and architectural screening to minimize visual and noise impacts on adjacent properties.
2. Screening elements shall maintain visual continuity and cohesion throughout the site, creating a unified and aesthetically pleasing appearance from all vantage points.
3. Screening elements shall be strategically placed to effectively block sightlines to outdoor storage areas, loading docks, and other industrial features that may detract from the surrounding landscape.
4. A variety of materials, including but not limited to, wood, metal, masonry, and vegetation, shall be incorporated into screening elements to add visual interest and texture to the site.
5. Landscaping elements, such as hedges, shrubs, and trees shall be integrated into the screening design to soften the visual impact of structures and create a more inviting environment.

RECOMMENDED



Metal screening seamlessly conceals mechanical equipment, blending functionality with modern industrial design.

NOT RECOMMENDED



Loading areas facing street with no screening

Blank walls with no daylight opportunities

NOT RECOMMENDED



Unscreened mechanical equipment disrupts the visual harmony of the industrial landscape, highlighting the need for effective screening solutions.

5.2.2 Architectural Design

A. Building Massing and Form:

1. Building massing shall achieve a balanced form and composition.
2. Large, flat, unarticulated building elevations shall be prohibited to enhance visual interest and architectural quality.
3. Building façades, especially those visible from public streets, shall be designed with detailed articulation principles.
4. Each façade shall incorporate recognizable base, middle, and top elements, utilizing treatments such as textured materials, cornice elements, and roof overhangs.
5. Long wall expanses shall be offset or architecturally treated every 150 feet to prevent expansive blank walls. Acceptable treatments include material changes, color variation, pilasters, staggered walls, or landscape treatments.
6. Multi-building projects shall foster visual continuity through design elements to ensure harmonious integration and cohesive appearance.
7. Ground story facades, including those of parking structures, shall be designed to relate to human scale. This shall be achieved by strategies such as breaking the façade into bays and smaller forms, adjusting signage size and location, introducing pedestrian arcades, and integrating landscape elements.
8. A stepped-back or tiered building massing approach, particularly along major arterials, shall be encouraged to enhance visual interest and create a dynamic streetscape.

B. Entries, Doors, and Windows:

1. Entrances shall serve as distinct design elements that guide guests into the interior and contribute to the architectural definition of the building.
2. Primary entries shall be highlighted through strategic massing, special materials, colors, detailing, landscaping, and other architectural treatments to draw attention and enhance the overall building design.

3. Entrances shall be enhanced with recessed or covered designs to provide shade, visual relief, functional benefits, and aesthetic appeal.

RECOMMENDED



Shaded, recessed entrances offer functional comfort with visual appeal

RECOMMENDED



Create a distinct primary building entry through building massing, architectural treatments, and landscaping.

C. Building Materials and Features:

1. Materials, colors, fenestration, scale, and massing shall be consistent with the intended architectural style or theme.
2. Rear and side elevations shall incorporate similar and complementary massing, materials, and details to ensure visual harmony and coherence on all sides of a building.
3. Buildings shall utilize durable and aesthetically appealing materials, such as decorative concrete, stucco, exterior plaster, tile, stone, metal, and glass, as primary exterior finishes.
4. Unfinished exterior surfaces on any building façade shall be prohibited to ensure a polished and cohesive appearance.
5. Each building shall incorporate a minimum of four different colors, textures, or materials to enhance visual interest and add depth to the architectural composition.
6. Changes in material or color shall wrap around the corner of a building or element to a logical termination point, ensuring a cohesive appearance while avoiding a disjointed or "pasted-on" effect.
7. Tinted and/or moderately reflective high-performance glazing shall be encouraged, offering a variety of shades to enhance the building's appearance. Clear or lightly tinted glazing shall also be acceptable. However, untinted mirrored glass, gold-tinted mirrored glasses, and opaque black glass shall be strongly discouraged due to their potentially distracting effects.

D. Walls and Fences:

1. Walls and fences shall be integral components of the development, constructed from attractive, durable, and complementary materials that align with the building's aesthetic and established design theme. Decorative block walls with caps or articulated concrete tilt-up walls shall be incorporated to ensure a cohesive and high-quality appearance.
2. Long, unadorned wall expanses shall be avoided to maintain visual interest and architectural integrity.
3. Landscaping shall be incorporated to soften the massing of walls and fences.

RECOMMENDED



High-level building articulation, architectural elements, and textured materials establish building character.

RECOMMENDED



Varying building colors and materials adds depth to the architectural composition.

RECOMMENDED



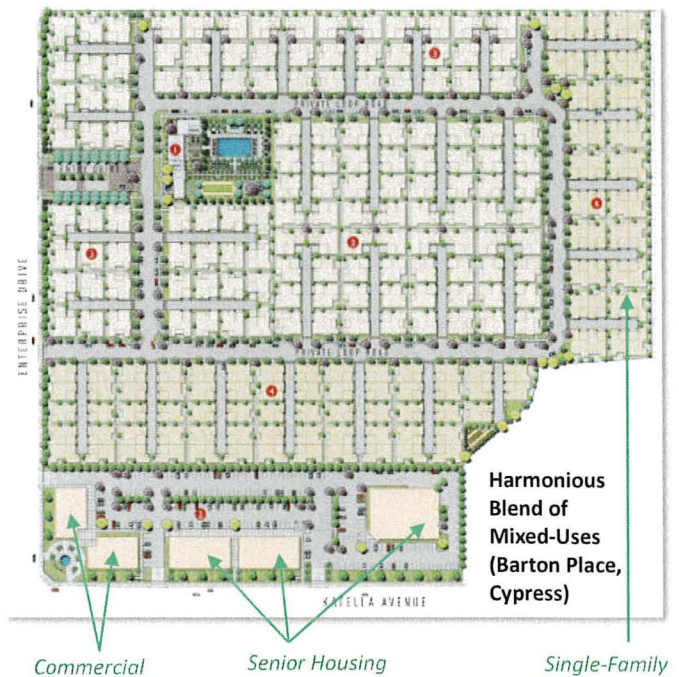
The relationship of colors and textures infuses the building with visual intrigue and character.

5.3 Design Guidelines for Development West of Walker Street

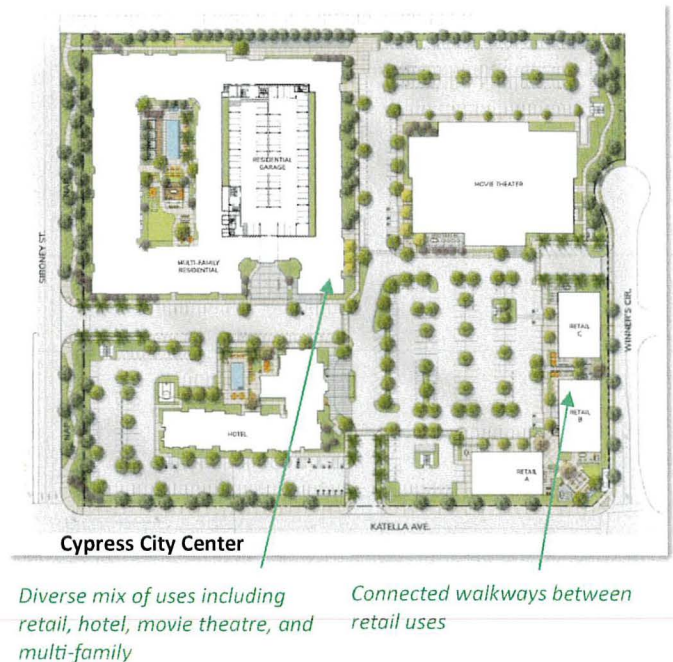
5.3.1 Site Planning and Design

- A. **Building Placement:** Buildings shall complement adjacent structures and landscaping, creating an orderly and visually appealing streetscape. Existing surrounding development shall inform contextual design.
- B. **Pedestrian-Friendly Mixed-Use Developments:** Mixed-use projects shall create vibrant, walkable environments by incorporating well-connected walkways, bike paths, and amenities. These developments shall include a variety of uses, services, and housing options within walking distance to enhance active transportation and streetscape appeal.
- C. **Public Transit and Accessibility:** Bus loading bays shall be designed within street rights-of-way where sufficient space allows for safe shared loading. Other loading bays shall not be permitted in street rights-of-way.
- D. **Parking Design:**
 1. Adequate on-site parking shall be provided for employees and customers near their destinations.
 2. Landscape islands and walkways shall be used to connect parking areas to building entries and to safely separate pedestrians from vehicles.
 3. Concrete bumpers shall not be permitted; instead, six-inch high concrete curbs shall be installed in all landscaped and paved areas.
 4. Consolidated parking that does not conflict with existing racetrack activities shall be encouraged.
 5. Crosswalks in parking lots shall be enhanced with features such as raised, colored, or textured pavement, and roadways shall be narrowed to improve safety and visibility.

RECOMMENDED



RECOMMENDED



5.3.2 Architectural Design

These architectural design guidelines aim to ensure high-quality development that fosters visual and spatial continuity throughout property located west of Walker Street. By incorporating recurring design elements, a cohesive identity is established for the area. All architecture should integrate seamlessly into an overall site concept, emphasizing contemporary style and materials that prioritize massing, scale, and proportion.

To achieve these goals, the standards are designed to meet the following objectives: establish a distinctive project identity, appeal to market and corporate stakeholders, ensure economic feasibility for long term viability, reflect the functional use of spaces through architectural form, align with the city's aesthetic expectations, advance the goals outlined in the General Plan, and harmonize with surrounding properties.

The following architectural features are prioritized to achieve economic and aesthetic success: richness of surface; design continuity; and variety in wall surfaces, openings (e.g., entries, windows, doors), colors, and graphics.

A. Building Massing and Form

1. Long, unarticulated building facades shall be avoided. Buildings with varying front setbacks are strongly encouraged.
2. Flat roofs with parapet walls to screen rooftop equipment are appropriate, though buildings with articulated varying roof planes are encouraged.
3. Long linear vistas and building edges within the development envelope and along the streetscape shall be avoided by incorporating variations in setbacks.
4. The use of prefab, all-metal steel for the sheathing of buildings is prohibited. However, this does not preclude the use of metal details, such as "Cor-ten" steel, within architecturally designed buildings.
5. All service and storage areas shall be concealed either within the buildings themselves or by screening walls constructed of solid masonry or stucco stud walls of a single color, preferably with appropriate accent trim.
6. Exterior architectural elements shall be proportionate to the building's size and massing to maintain visual harmony.
7. No part of the roof shall project above the parapet.

RECOMMENDED



Flat roofs to screen rooftop equipment

Varied front setbacks

RECOMMENDED



Recessed entrances and windows

Architectural elements

NOT RECOMMENDED



Box-like building design with lack of architectural elements

Electrical equipment not screened from view

B. Entries, Doors, and Windows: The recommended entry features and focal points shown below are provided to maintain visual quality throughout the development.

RECOMMENDED



Recessed Entries



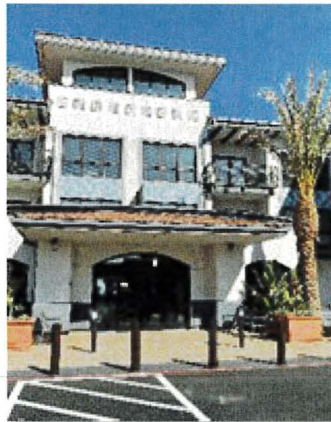
Entry Overhead Elements



Projected Entries



Windows



Landscaped Planters

C. Building Materials and Features: The recommended building materials, colors, and graphics are provided to maintain a visual quality throughout the development.

1. Materials:

- i. Pre-Finished Metal Panels
- ii. Brick
- iii. Spandrel Glass
- iv. Scored Split-Faced Block
- v. Stone
- vi. Pre-Cast or Tilt-Up Concrete/Textured or Exposed Aggregate
- vii. Stucco

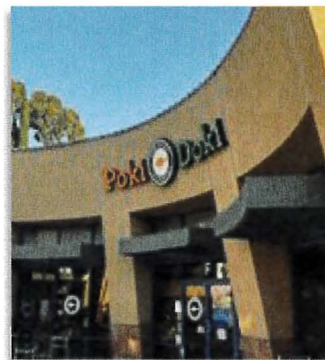
2. Colors:

- i. Subtle, warm tones
- ii. White
- iii. Glass, dark or reflective
- iv. Cool range gray tones

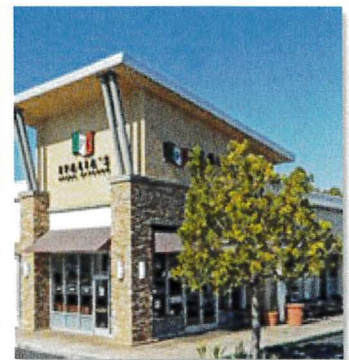
3. Graphics:

- i. Building address
- ii. Directionals
- iii. Company names

RECOMMENDED



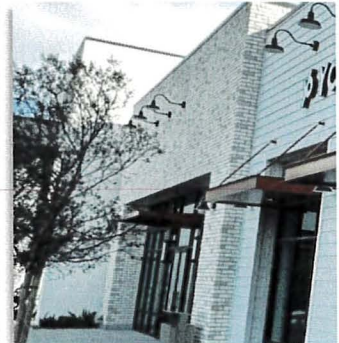
Stucco



Stone



Pre-Finished Metal Panels



Brick

D. Walls and Fences

1. Walls and fences shall be consistent with the architectural materials of the structures. The following materials shall be allowed for walls and fences:
 - i. Wrought Iron, or equivalent tubular steel
 - ii. Concrete masonry: integral color (consistent with building color)
 - iii. Brick
 - iv. Concrete: textured, brushed, hammered, rock salt, sandblasted, integral color (consistent with building color)
 - v. Stucco: integral or painted color (consistent with building color).
2. Earth berms and landscaping shall be encouraged to reduce the apparent height of screen walls.
3. Screen walls or fences made of sheet or corrugated iron, steel, aluminum, asbestos, or security chain-link fencing are specifically prohibited.
4. Screen walls facing a street shall be designed to appear as an integral part of the building by using the same materials.

5.4 Edge Design Standards

5.4.1 Streets

A. General Streetscape Standards

1. **Consistency and Visual Appeal:** All landscaped street edges within the CBPSP area shall create a cohesive streetscape, integrating drought-tolerant groundcover, informal tree groupings, and aesthetically pleasing berms.
2. **Landscaped Setbacks:** Landscaped edges vary by roadway but generally range from 15 to 30 feet in width based upon the required setback (see Tables 4.3.1 and 4.3.2).
3. **Sidewalk Width:** Sidewalks on all arterial roadways (major, primary, secondary, and collector) shall be a minimum of six feet wide and shall have meandering sidewalks (up to 10 feet wide) as required by the Director of Public Works. Sidewalks on local roadways shall be a minimum of five feet wide.
4. **Plant Palette:** Utilize drought-tolerant plants, replacing existing turf where applicable, in line with the CBPSP Plant Palette.
5. **Landmark Trees:** Landmark trees must be preserved, relocated, or replaced as per Landmark Tree Replacement Guidelines.
6. **Maintenance:** The maintenance of landscaped edges shall be the responsibility of the property owner. All landscaped areas must be kept in a healthy, thriving condition and remain free of weeds, debris, and other unsightly elements.

B. Roadway-Specific Streetscape Standards

1. Streetscapes shall incorporate the landscaped edge features detailed in the table below. The features are arranged sequentially, starting with item 1, which is located directly adjacent to the street. Each subsequent feature is positioned immediately behind the previous one.

Table 5.4.1 – Roadway-Specific Streetscape Standards

Roadway	Landscaped Features	Trees
Cerritos Ave (East of Walker St)	<ol style="list-style-type: none"> 1. Sidewalk 2. 3- to 3.5- foot-high undulating berms with 3:1 slope within the landscaped setback 	<ul style="list-style-type: none"> • Trees shall be arranged in informal groupings of five or more, spaced 15 to 20 feet apart • Trees shall be setback a minimum of 4 feet from sidewalks • A minimum clearance of 12 feet above the sidewalk shall be maintained • Trees shall be placed around berms, but must never be located directly on top of berms • Trees shall maintain uniformity in height and spread
Cerritos Ave and Lexington Dr (West of Walker St)	<ol style="list-style-type: none"> 1. Sidewalk 2. 4-foot-wide planting strip with groundcover on private property 3. 3-foot-wide, 5-foot-tall hedges to screen adjacent land uses 4. 6-foot-high wrought iron or equivalent fence 	
Holder St	<ol style="list-style-type: none"> 1. Sidewalk 2. Maximum 3-foot-high berms with a maximum 3:1 slope within the landscaped setback 	
	<ol style="list-style-type: none"> 1. Sidewalk 2. 2- to 5-foot-wide parkway with low shrubs and hedges 	
Katella Ave*	<ol style="list-style-type: none"> 3. 2- to 4- foot-high berms within the landscaped setback (for property west of Walker Street, berms must have a 2:1 slope on the parking side) 	

Roadway	Landscaped Features	Trees
Knott Ave	<ol style="list-style-type: none"> 1. Sidewalk 2. Maximum 3-foot-high berms with a maximum 3:1 slope within the landscaped setback 	
Valley View St* (Adjacent to Bolsa Chica Channel)	<ol style="list-style-type: none"> 1. 2.5- to 3- foot-high undulating berms with 3:1 slope within the 38-foot-wide landscaped setback 2. Meandering sidewalk and bike path 3. 2.5- to 3- foot-high undulating berms with 3:1 slope within the 38-foot-wide landscaped setback 	
Valley View St* (All Other Areas)	<ol style="list-style-type: none"> 1. Sidewalk 2. 2-foot-wide parkway 3. Berm with 3:1 slope within the landscaped setback 	
Walker St	<ol style="list-style-type: none"> 1. Parkway with varying widths 2. Meandering sidewalk 3. 4-foot-high berm with 2:1 slope on the parking lot side within the landscaped setback 	
Internal or Local Streets	<ul style="list-style-type: none"> • Maximum 3-foot-high berms with a maximum 4:1 slope and 3-foot-high hedge for screening parking/service areas within the landscaped setback (no hedge is required where the building edge abuts a landscape setback) 	<ul style="list-style-type: none"> • Single row of canopy trees spaced 20 to 40 feet apart • Trees shall be setback a minimum of 4 feet from sidewalks or curbs • A minimum clearance of 12 feet above the sidewalk shall be maintained
Siboney St/ Race Track	<p><i>West Side</i></p> <ol style="list-style-type: none"> 1. Sidewalk 2. 9-foot-wide planting strip with groundcover 3. 4-foot-high berm within a 35-foot-wide landscaped setback, which must have a 2:1 slope on the parking side and 3:1 slope on the opposite side <p><i>East Side (within a 35-foot-wide landscaped area in the 110-foot-wide access and utilities easement):</i></p> <ol style="list-style-type: none"> 1. Groundcover and trees 2. A meandering sidewalk and bike path 3. Additional Groundcover and trees 	<ul style="list-style-type: none"> • Trees shall be spaced 15 to 20 feet apart • Trees shall be setback a minimum of 4 feet from sidewalks • A minimum clearance of 12 feet above the sidewalk shall be maintained • Trees shall maintain uniformity in height and spread
Vessels Cir	<p><i>North Side</i></p> <ol style="list-style-type: none"> 1. 5-foot-wide landscaped parkway 2. Sidewalk 3. 2-foot-high berm within a 20-foot landscaped setback <p><i>South Side</i></p> <ol style="list-style-type: none"> 1. 16-foot-wide landscaped parkway 	

* Along Katella Avenue and Valley View Street, corners shall be special accent points with enhanced landscaping or decorative hardscape features.

5.4.2 Buffers

Table 5.4.2 – Buffer Design Standards

Edge	Landscaped Features
Between the Cypress Town Center and Commons Specific Plan Area and CBPSP Area	A landscaped island featuring a berm with a 3:1 slope on both sides, planted with eucalyptus groves.
Between the Stanton Storm Channel and CBPSP Area	<p>A buffer zone along the southern perimeter of the CBPSP area is designed to screen residences south of the channel from center activities. The zone includes:</p> <ol style="list-style-type: none"> 1. A 10-foot-wide service road maintained by the Orange County Flood Control District. 2. A five-foot-high chain-link fence along the southern edge of the service road. 3. Adjacent to the service road, a minimum 8-foot-high, 35-foot-wide landscaped berm planted densely to enhance screening and aesthetics. 4. A five-foot-high decorative wrought iron or equivalent security fence along the north side of the berm, adjacent to the parking area, for added security and separation. <p>Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation. Landscaping shall be per plan and any change shall require prior approval from the Planning Director and City Engineer. Any landscaping maintained by the property owner shall require a bond posted with the Community Development Department to guarantee against defects in plant materials and workmanship.</p>
Between the Southern Pacific Railroad Tracks and CBPSP Area	A five-foot-wide landscape buffer consisting of dense, informal plantings of tall cypress or evergreen trees.
Between Residential Uses and the CBPSP Area	A minimum 5-foot-wide landscaped buffer of trees shall be provided along that portion of a side and rear property line where such side yard or rear yard abuts property that is zoned, or master planned for residential uses or community facilities. Said trees shall be of sufficient size and species to provide maximum screening and buffering from noise and visual intrusion of an industrial use upon a residential or community facility use.

CHAPTER 6. DEVELOPMENT PLAN

The Development Concept for the CBPSP

6.1 Purpose

This Chapter presents an overview of the existing public utility infrastructure serving the CBPSP area and its surroundings. Public utility suppliers include water, wastewater, drainage, natural gas, electricity, telecommunication, and solid waste. The Public Works Department will assess each utility on a project-specific basis to ensure compliance with relevant standards and requirements.

6.2 Regional Access

The CBPSP area benefits from its proximity to major regional highways, including Interstate 605 (San Gabriel River Freeway), Interstate 405/State Route 22 (San Diego/Garden Grove Freeways), State Route 91 (Artesia Freeway), and State Route 39 (Beach Boulevard). Specifically, I-605 is situated to the west, I-405/SR-22 to the south, SR-91 to the north, and SR-39 to the east of the CBPSP. Access to I-605 and SR-39 is available via Katella Avenue and Cerritos Avenue.

6.2.1 Primary Access

Primary access to the Specific Plan Area is provided by Katella Avenue, Valley View Street, Cerritos Avenue, Knott Avenue, Holder Street, and Walker Street. Katella Avenue is a major east-west arterial highway, varying from 88 to 104 feet in width. Valley View Street, a major north-south arterial, serves as both a designated truck and bicycle route. Cerritos Avenue, another primary east-west arterial highway, varies between 72 and 84 feet in width and is designated as a truck route with a bicycle path incorporated into the existing sidewalk. Knott Avenue is a primary north-south arterial and designated truck route. Holder Street serves as a secondary north-south arterial, while Walker Street, also a north-south secondary arterial, is 64 feet wide north of Cerritos Avenue and 76 feet wide south of it and is designated as both a truck route and bicycle path with an off-street bicycle path between Cerritos Avenue and Katella Avenue.

Additional access within the CBPSP area is provided by internal roadways, including Vessels Circle, Enterprise Drive, Plaza Drive, Corporate Avenue, Hope Street, Business Center Drive, etc.

6.2.2 Circulation Plan

- A. No development shall be permitted on parcels without improved street access. For purposes of this standard, a street is a maintained public street or alley or a private street subject to the approval of the City Engineer.
- B. Streets shall be designed and constructed in conformance with the General Plan Circulation Element and the City of Cypress Standard Plans. However, if alternative street designs are proposed, they may be considered for approval pursuant to the Alternative Street Sections guidelines outlined below.
- C. Dedication of the right-of-way shown on the City's Master Plan of Streets shall be required as a condition of approval for any development. This requirement may be satisfied for Denni Street by an irrevocable offer to dedicate.
- D. Installation of curbs, gutters, sidewalks, streets and alley paving, street lighting and street trees shall be subject to the provisions of the City of Cypress Standard Plans, this Specific Plan, and to the approval of the City Engineer.
- E. All street names within the Specific Plan Area shall be approved, and changed if necessary, by the City Engineer.
- F. No structures shall be constructed over existing pipeline, power line, drainage, transmission line or other similar easements, except where such easement has been abandoned or vacated or the grantee of such easement has consented to such structural encroachment.
- G. Bus turnouts and passenger waiting areas shall be provided at bus stops as determined necessary by the City Engineer.
- H. Internal streets within the Specific Plan Area may be public or private.
- I. To provide an opportunity for innovative and functional design within the Specific Plan Area, developers may propose street section standards that differ from the City's Standard Plans. These alternative standards may be approved by the City Engineer as part of the Site Plan Review process, provided that the developer demonstrates the reasons for and extent to which the proposed street section should differ from the City's Standard Plans. If approved, the alternative street sections will replace the corresponding

standards in the City's Standard Plans for that particular development project.

6.2.3 Transportation Systems Management

To reduce vehicular congestion and improve traffic flow, various methods are encouraged. Private driveways should connect adjoining developments to reduce traffic, and common drives should be utilized with recorded easements to guarantee shared access and maintenance. For parcels of five acres or more, separate access points may be allowed for security and convenience, provided that access to adjacent parcels remains unobstructed.

Developers must comply with the City's policies regarding the impact of land development on City services and participate in the City's traffic impact fee assessment, as outlined in Chapter 5, Article VIII of the Cypress City Code.

Transportation Demand Management (TDM) measures apply to all development within the Business Park. For detailed requirements, refer to Article XVII Cypress Transportation Demand Management Requirements for Specific New Development Projects in the Cypress City Code.

Developers shall also participate in the Business Park Transportation Systems Management (TSM) plan adopted by the City and join the Transportation Management Association (TMA) formed by Business Park landowners with City assistance pursuant to Article XVI Cypress Business park Vehicle Trip Reduction Program in the Cypress City Code. Developers shall participate in TSM programs on an equitable basis with all other City designated participants within the Business Park.

6.3 Water

An extensive network of water lines currently serves the CBPSP area and its adjacent properties, with Golden State Water Company serving as the water purveyor. Existing water lines run through Lexington Drive, Cerritos Avenue, Katella Avenue, surrounding streets, and certain parcels within the CBPSP Area. Golden State Water Company has confirmed that these lines were built in compliance with the applicable codes at the time of their construction.

Precise water system requirements will be determined as development projects are proposed within the CBPSP area as part of the site plan review process and, where applicable, the subdivision map process. Water mains located in the public right of way will remain owned and operated by Golden State Water Company. Any mains within private property that serve as part of the public water distribution system will be dedicated to Golden State Water Company through recorded easements following their construction and acceptance.

6.4 Wastewater

The City is responsible for reviewing and approving wastewater within the Specific Plan Area, while the Orange County Sanitation District (OCSAN) manages trunk sewer lines and wastewater treatment. New development within the CBPSP Area may connect to existing trunk or main sewer lines, pending approval by the City Engineer or OCSAN. Precise sewer system requirements will be determined during the site plan review process or, where applicable, the subdivision map process.

Development Conditions

- A. The developer shall examine the capacity of existing sewer mains and laterals to confirm they are adequate for the intended use. If the existing lateral is unusable or lacks sufficient capacity, the developer shall construct a new sewer lateral with a publicly owned cleanout/manhole in the public right-of-way, at a location approved by the City Engineer. The applicant shall connect to the City's sewer system or another jurisdiction, as directed by the City Engineer.
- B. Prior to the recordation of the subdivision map, the applicant shall submit a sewer plan, signed and stamped by a registered civil engineer, detailing all proposed public and/or private sewer lines, in accordance with the City's Design Standards for Sewer Facilities.
- C. All sewer lines within the development shall be considered private and maintained by the developer or their successors in interest. The City of Cypress shall not be responsible maintaining private sewer lines.

6.5 Drainage

Each development project within the CBPSP area will incorporate grading and landscaping measures to manage stormwater runoff, aiming to mitigate its impact on the City's storm drain system. The primary goal is to enhance runoff quality and limit post-development hydrological effects through a strategy that prioritizes onsite storage and encourages infiltration across the Specific Plan area. Rainfall management techniques will include porous pavements, grassed swales, bioretention swales, and filter/buffer strips to capture and infiltrate rainwater onsite.

If further reduction is necessary, additional methods such as dry wells, French drains, gravel-filled infiltration pits, and infiltration galleries may be employed. Biotreatment systems may be installed to improve stormwater quality before discharge. The implementation of Low Impact Development (LID) principles will minimize hard surfaces and utilize natural features where feasible.

In some cases, onsite flood control facilities may be incorporate to temporarily store runoff until the City's storm drain system has sufficient capacity. These facilities, such as retention ponds or underground storage vaults, may be shared among multiple development parcels or implemented independently. Due to the variety of land uses within the CBPSP, a combination of drainage and treatment systems may be required, with the specific method to be determined during project development. All selected methods must receive approval from the City Engineer.

6.6 Natural Gas and Electricity

The CBPSP area is served by Southern California Gas Company for natural gas and the Southern California Edison Company for electricity. The existing utility infrastructure is capable of being expanded to accommodate future development and increased demand within the CBPSP area. Precise system requirements for natural gas and electricity will be determined on a project-by-project basis during the site plan review process and, where applicable, through the subdivision map process. All expansions or modifications to the utility network must comply with standards and regulations set forth by the respective utility providers.

6.7 Solid Waste

The City of Cypress contracts with a private solid waste hauler for the collection and disposal of solid waste generated within the CBPSP area. Solid waste collected from the area will be transported to an appropriate landfill facility, as designated by the City's contracted hauler.

CHAPTER 7. PERMIT PROCEDURES

This chapter provides procedures and requirements for preparing, filing, and processing land use permit applications.

7.1 Specific Plan Adoption

The City Council adopted the Cypress Business Park Specific Plan (CBPSP) on March 24, 2025 in accordance with the provisions of Section 20 (Specific Plans) of the Cypress Zoning Ordinance.

7.2 Permit Review Authority

Table 7.2 identifies the authority responsible for reviewing and deciding on each action required by the CBPSP. “Recommend” means the review authority makes a recommendation to a higher authority; “Decision” means the review authority makes the final decision (unless appealed); “Appeal” means the review authority considers and decides on appeals to an earlier decision, per Section 27 (Appeals) of the Cypress Zoning Ordinance.

Table 7.2 – Review Authority

Planning Permit ⁽¹⁾	Review Authority			Cypress City Code Reference
	Design Review Committee	Planning Director	City Council ⁽²⁾	
Accessory Outdoor Dining	Decision		Appeal	N/A
Adjustments		Decision	Appeal	N/A
Conditional Use Permits		Recommend	Decision	CZO § 4.19.070
Design Review	Decision		Appeal	CZO § 4.19.060 ⁽³⁾
Development Agreements		Recommend	Decision	CZO § 21
Extensions of Time		Decision	Appeal	CZO § 5.24.050
General Plan Amendments		Recommend	Decision	CZO § 28
Minor Changes to an Approved Project		Decision		CZO § 5.24.060
Sign Program	Decision		Appeal	CZO § 4.19.060
Site Plan Review		Recommend	Decision	N/A
Specific Plan Amendments		Recommend	Decision	CZO § 20
Tentative Parcel Map		Recommend	Decision	CCC § 25-14 – 25-22
Tentative Tract Map		Recommend	Decision	CCC § 25-7 – 25-13
Landmark Tree Removal Permit ⁽⁴⁾		Decision	Appeal	CCC § 17-17
Reasonable Accommodation		Decision		CZO § 4.19.100

Notes:

⁽¹⁾ The Planning Director may defer any permit to the City Council for final determination.

⁽²⁾ All City Council decisions are final.

⁽³⁾ All subsections of Section 4.19.060 (Design Review) of the Cypress Zoning Ordinance shall apply, except for Subsection B. (Applicability). In the CBPSP area, Design Review shall be required for all new buildings, additions, structures, and sign programs that meet all development and design standards. The Planning Director may any Design Review application to the City Council as a Site Plan Review for final determination.

⁽⁴⁾ Per Section 17-18 (Same – Definitions) of the Cypress City Code, the phrase “landmark tree” means any tree designated as a landmark tree on the map on file in the Planning Division.

7.3 Adjustments

- A. Intent and purpose of subsection.** The Adjustment procedure is established to grant minor relief from development and design standards, under limited circumstances, where such relief would enhance the design and functionality of the proposed structure or addition.
- B. Allowable Adjustments.** The Director may consider applications for Adjustments to development and design standards listed in table 7.3 (Types of Adjustments Allowed).

Table 7.3 – Types of Adjustments Allowed

Types of Adjustments Allowed		Maximum Adjustment
1.	Distances between structures. A decrease in the minimum allowed distances between structures on the same parcel.	20%
2.	Fence or wall height. An increase of the allowed maximum height of a fence or wall, subject to the review and conditions of the Building Official.	20%
3.	Height of structures	10%
4.	Landscape requirements. An adjustment to any landscape standards with specific numerical requirements, such as setbacks, height, planting densities, and minimum dimensions.	10%
5.	Parcel area, depth, or width. A decrease in the minimum required parcel area, parcel depth, or parcel width.	10%
6.	Site coverage. An increase of the maximum allowable site coverage.	10%
7.	Parking. A decrease in the number of required off-street parking spaces.	10%
8.	Setback/yard area. A decrease in the maximum required setback/yard areas (e.g., front, rear, and side) for structures.	20%
9.	Sign area/height. An increase of the maximum allowed height of signs or maximum allowed sign area.	10%
10.	Design standards and objective standards for multi-family dwellings. A deviation from one or more standards set forth in Chapter 5 (Design Standards) of the CBPSP or Section 3.17.310 (Objective standards for multi-family dwellings) of the Cypress Zoning Ordinance may be approved if the Director determines that the project incorporates an alternative approach that effectively meets the intent of the original requirement.	

C. Procedures

- Application requirements.** In addition to application filing requirements in Section 18 (Applications, Processing, and Fees) of the Cypress Zoning Ordinance, applicants must submit a statement of the requested Adjustment and reasons for the request.
- Director's investigation.** The Director shall review the application, analyze precedent cases where relevant, and prepare a report outlining the facts relating to the application.
- Noticing requirements.** Notices shall be mailed to all adjacent property owners. It shall include all information per Section 26 (Public Hearings) of the Cypress Zoning Ordinance, stating the Director’s decision date and inviting written comments.
- Director's action**
 - Based on the investigation, the Director shall approve, approve with conditions, or disapprove the Adjustment.

- b. The Director shall make findings of fact that establish the circumstances appropriate for the decision.
- c. A decision shall be made within 30 days of the date the application is deemed complete.

D. Adjustment approval attached to the property. An approved Adjustment remains valid only for the specified property and improvements for which it was granted. The approval continues to apply even with changes in property ownership or any lawfully existing structures on the property.

E. Time limit for using an Adjustment

1. **Establishment of right to use an Adjustment.** Adjustment approval shall be valid for 12 months from the effective date of approval. The approval shall lapse and become void after that period unless either:
 - a. A building permit is issued and construction is commenced and actively pursued on the approved site;
 - b. If no building permit is required, a Certificate of Occupancy is issued for the approved structure;
 - c. If no building permit or Certificate of Occupancy is required, the approved site is occupied; or
 - d. The grantee files an extension application, as outlined in subsection E.2. below.
2. **Extension of an Adjustment**
 - a. The Director may approve or disapprove an extension application.
 - b. The Director may modify existing conditions of approval or add new conditions to address any changes affecting the Adjustment or surrounding properties.
 - c. The Adjustment may be extended once, for an additional 12 months, provided the extension application is submitted before the expiration date.

7.4 Site Plan Review

A. Intent and purpose. The Site Plan Review is established to provide discretionary reviews of development projects which, due to the nature of their location or design require special review to determine if the location or design is compatible with the surroundings of the area. The Site Plan Review ensures that projects comply with all applicable city standards and ordinances, are not detrimental to the public health, safety, or welfare, or are materially injurious to properties or improvements in the immediate vicinity.

B. Applicability. Development projects that do comply with the development standards and/or design standards, and are not eligible for an Adjustment, will require implementation through a Site Plan Review pursuant this chapter.

C. Procedures

1. **Preliminary Plan.** Applicants are required to submit preliminary plans for review and comment by the Planning Department prior to the final preparation of a Site Plan.
2. **Application Requirements.** In addition to the application filing requirements in Section 18 (Applications, Processing, and Fees) of the Cypress Zoning Ordinance, applications shall include any plans, documents, reports, and information required by the Planning Department to determine compliance with the provisions of the CBPSP.
3. **Director's Investigation.** The Director shall review the application, analyze relevant precedent cases, and prepare a report detailing the project facts, recommended actions, and how the project aligns with the provisions of the Specific Plan. The report shall be provided to the City Council and the applicant before any scheduled public hearing on the application.
4. **Public Hearing and City Council action**

- a. A public hearing before the City Council shall be noticed and conducted in compliance with Section 26 (Public Hearings) of the Cypress Zoning Ordinance.
- b. At the public hearing, the City Council shall review the application and may receive evidence regarding the proposed site plan and any conditions that make compliance with specific provisions of the CBPSP difficult.
- c. Within 21 days following close of the public hearing, the City Council shall approve, conditionally approve, approve in modified form, or disapprove the Site Plan Review. The action shall be taken by resolution of the City Council.

D. Mandatory findings for approval of a Site Plan Review. The City Council shall make the following findings before approving any Site Plan Review:

1. The proposed project is compatible with the intent and purpose of the Cypress Business Park Specific Plan.
2. Development of the Site Plan will not have an adverse impact on public health, safety, interest, convenience or general welfare.
3. The Site Plan is compatible with the intent and purpose of the regulations and design standards of the Cypress Business Park Specific Plan.

E. Time limit for using Site Plan Review approval

1. **Establishment of right to use a Site Plan Review.** Site Plan Review approval shall be valid for 24-months from the effective date of approval. The approval shall lapse and become void after that period unless either:
 - a. A building permit is issued, and construction is commenced and actively pursued on the approved site;
 - b. If no building permit is required, a Certificate of Occupancy is issued for the approved structure;
 - c. If no building permit or Certificate of Occupancy is required, the approved site is occupied; or
 - d. The grantee or the city files an extension application, as outlined in subsection E.2. below.
2. **Extension of a Site Plan Review:** A Site Plan Review approval subject to lapse may be renewed for additional 12-month periods, not to exceed two extensions by the Planning Director (appealable to the City Council) as necessary. Any further extensions beyond that period may be requested but will be subject to City Council approval; provided, the application for renewal is filed with the Department before the expiration date.

7.5 Interpretation

If ambiguity arises concerning the meaning or appropriate application of the provisions of the Specific Plan, the Planning Director has the authority to make an interpretation.

7.6 Nonconformities

Section 25 (Nonconforming Uses, Structures, and Parcels) of the Cypress Zoning Ordinance shall apply to any nonconforming lots, structures, and uses within the CBPSP area.

7.7 Severability

If a court determines that a provision in this Specific Plan is unconstitutional or invalid, that determination shall not affect the validity of other parts of this document.

7.8 Implementation Action Plan

Table 7.8 lists the tasks intended to guide the City through near-term and on-going implementation of the CBPSP.

Table 7.8 – Implementation Action Plan

Action #	Responsible Party	Description
1	City of Cypress Community Development Department	Monitor and Report on Developments Monitor and periodically report on projects approved in the CBPSP area, including the number of residential units and non-residential (commercial, industrial, etc.) entitled, under construction, and completed.
2	City of Cypress Community Development Department	Positive Business Climate Marketing Market CBPSP's strong competitive location as a gateway along one of the region's key arterial roads (Katella Ave). Secure new business opportunities focused on the type of economic development that furthers the vision and transformative strategies of the CBPSP.
3	City of Cypress Public Works Department	Water System and Infrastructure Ensure that water system and infrastructure facilities are upgraded, as needed, to support future development. Replace aging water lines, as needed. Require developers to provide engineering studies to confirm sufficiency or required improvements.
4	City of Cypress Public Works Department	Sewer System and Infrastructure Ensure that existing sewer system is upgraded, as needed, to support future development. Replace aging sewer lines, as necessary and feasible, when resurfacing streets. Require developers to provide engineering studies to confirm sufficiency or identify required improvements.
5	City of Cypress Public Works Department	Shared Parking Structures Consider developing a parking management plan that will facilitate the development and maintenance of structured parking over time using a variety of funding sources, including development impact or in-lieu fees, special assessments, parking revenues and public contributions and incentives, particularly through outside grants and loans.
6	City of Cypress Community Development Department	Update Forms and Applications The City will review existing applications to create a unique application for projects located within the CBPSP boundary area to ensure a specialized and streamlined application process and facilitate efficient development and regulatory compliance. The City will create an Entitlement Process Flowchart to indicate the process for case intake at the public counter. This may include: Design Review, Site Plan Review, Conditional Use Permits, etc.
7	City of Cypress Community Development Department	Assign the Dedicated City Staff to Lead Implementation The City will assign the Business Development Manager or dedicated staff member within the Community Development Department to manage implementation tasks outlined in this Section. The dedicated staff person will assist applicants throughout the planning process and actively market the CBPSP to prospective developers and businesses. Close coordination between the Planning Division, Building Division, and Public

CYPRESS BUSINESS PARK SPECIFIC PLAN (CBPSP)

Action #	Responsible Party	Description
		Works Department will be required to review and administer development proposals in compliance with the CBPSP.
8	City of Cypress Community Development Department	Develop a Fast-Track Program The City will develop a Fast-Track Program which will expedite processing times for eligible projects. The application for each permit or approval included in a fast-track project shall be filed with the Planning Department.
9	City of Cypress Community Development Department	Identify Funding Options The Business Development Manager or dedicated staff member will establish an annual funding and financing strategy. This involves identifying viable state, local, and federal funding options to support the CBPSP's implementation. This dynamic strategy will be updated annually to align with changing economic conditions, ensuring continuous exploration and utilization of diverse funding sources for sustained success.
10	City of Cypress Community Development Department	Monitor Economic and Growth Indicators Establish a monitoring system with key performance indicators to track trends in public revenues, employment, population, and housing growth within the CBPSP area.
11	City of Cypress Community Development Department	Attract Targeted Business Sectors Focus efforts on attracting business sectors identified in the CBPSP's Business Sector and Real Estate Market Analysis. The City will strategically market to attract clean, dynamic, and high-wage industries through infrastructure improvements and customized incentives. This targeted approach aims to bring quality employment opportunities, fostering sustained economic growth and enhancing the vitality of the business park.

7.9 Maintenance

Final determination of maintenance responsibilities for the public and private improvements constructed within the Cypress BPSP will be determined in future entitlement approvals and/or a Development Agreement. It is anticipated maintenance shall be generally conducted as described in Section 3.10.090 Property Maintenance of the Zoning Ordinance.

7.10 Federal Aviation Administration Approval

The Specific Plan Area is located in proximity to the Joint Forces Training Base, Los Alamitos (JFTB), which is governed by the Airport Environs Land Use Plan (AELUP) for the JFTB. The Planning Area for the JFTB in the AELUP includes the area that lies above or penetrates the 100:1 Imaginary Surface, which is graphically shown in Appendix D to the AELUP, as well as Exhibit SAF-7 in the Safety Element of the City's General Plan. Per Federal Aviation Regulation (FAR) Part 77, Section 77.9 notice to the Federal Aviation Administration (FAA) is required for any proposed structure more than 200 feet Above Ground Level (AGL) of its site within any jurisdiction. Notices to the FAA provide a basis for evaluating project impacts on operational procedures and air navigation. To coincide with the FAA regulations, the ALUC also requires notification of all such proposals. Compliance with the ALUC shall be assessed during Design Review or Site Plan Review. Projects within the CBPSP boundary shall meet the requirements of the Airport Environs Land Use Plan for JFTB. The Public Utilities Code for the State of California, Sections 21670 through 21679.5 governs the activities and responsibilities of the Airport Land Use Commission.

CITY OF CYPRESS
Cypress Business Park Specific Plan
Appendix D

EXISTING TREE PALETTE & REPLACEMENT RECOMMENDATIONS

PROPOSED PLANT PALETTES

PLANT IMAGERY

PLANTING DETAILS

PLANT SPACING

TREE		WATER USE CITY OF CYPRESS (WUCOLS)	LAND USE AREA			PLAN CATEGORY					RECOMMENDED REPLACEMENTS
BOTANICAL NAME	Common Name		BP	CO	PO, CC, MUBP/GRC, MUC/R, MUC/SR, PO/HSC	ENTRIES	PARKING & BLDG. FOUNDATIONS	BUFFERS	EDGES & BOUNDARIES	(Existing before SP)	(Botanical name Common Name)
			BUSINESS PARK	COMMERCIAL OFFICE	PROF. OFC., COTTONWOOD CHURCH, MIXED-USE BUS. PK/ GEN. RETAIL COMM., MIXED- USE COMM./RES.D., MIXED-USE COMM./SR, HOUSING, PROF. OFC. & HOTEL & SUPPORT COMM.						For species with high or moderate water use, trees that are prone to limb failure, & species invasive in California
ACACIA MELANOXYLON (invasive)	Blackwood Acacia	LOW			X			X		X	Agonis flexuosa 'After Dark' Peppermint Willow
ALNUS RHOMBIFOLIA	White Alder	HIGH	X	X	X				X		Arbutus unedo 'Marina' Strawberry Tree
BRACHYCHITON POPULENUS	Bottle Tree	LOW	X					X	X		
CALLISTEMON CITRINUS	Lemon Bottlebrush	LOW			X			X		X	Heteromeles arbutifolia Toyon
CALLISTEMON VIMINALIS	Weeping Bottlebrush	LOW			X			X		X	
CHORISIA (CEIBA) SPECIOSA	Floss Silk Tree	LOW	X		X	X					
CORDYLINE AUSTRALIS	Corodyline	LOW			X			X	X	X	
CUPANIOPSIS ANACARDIOIDES	Carrotwood Tree	MOD.	X	X			X		X		Laurus nobilis Sweet Bay
(X) CUPRESSOCYPARIS LEYLANDII	Leyland Cypress	MOD.	X	X				X	X		Juniperus sco. 'Wichita Blue' Witchita Blue Juniper
CUPRESSOCYPARIS SEMPERVIRENS	Italian Cypress	LOW			X				X	X	
ERYTHRINA CAFFRA	Coral Tree	LOW	X	X		X	X		X		
EUCALYPTUS CAMALDULENSIS	Red Gum	LOW			X			X	X	X	Mature or declining Eucalyptus are prone to limb failure and can present safety and loss of property issues. Consider replacing declining Eucalyptus trees with alternative species like: Brachychiton, Calocedrus, Quercus, Platanus, Tamarix, or Ulmus depending upon site location, exposure, and water use of understory shrubs.
EUCALYPTUS CITRIADORA	Lemon-scented Gum	LOW	X		X	X					
EUCALYPTUS (CORYMBIA) FICIFOLIA	Red-flowering Gum	LOW		X				X	X		
EUCALYPTUS LEUCOXYLON	White Ironbark	LOW			X			X	X	X	
EUCALYPTUS POLYANTHEMOS	Silver Dollar Gum	LOW			X			X	X	X	
EUCALYPTUS SIDEROXYLON	Red Ironbark	LOW			X			X	X	X	
EUCALYPTUS SPP.	Eucalyptus	LOW		X				X	X		
EUCALYPTUS VIMINALIS	Manna Gum	LOW			X			X	X	X	
FICUS FLORIDA (macrocarpa/aurea)	Florida Fig / Florida Strangler	MOD.		X	X				X		Quercus ilex / Holly Oak
FRAXINUS VELUTINA	Arizona Ash	MOD.	X						X		Fraxinus velutina 'Modesto' Modesto Ash
JACARANDA MIMOSIFOLIA	Jacaranda	MOD.	X						X		Tipuana tipu Tipu Tree
JUNIPERUS CALIFORNICA	California Juniper	V. LOW			X			X	X	X	
LIGUSTRUM LUCIDUM	Glossy Privet	LOW			X		X		X		
LIQUIDAMBAR STYRACIFLUA	Liquidambar / Sweet Gum	MOD.		X				X			Nyssa sylvatica Sour Gum
LIRIODENDRUON TULIPIFERA	Tulip Tree	MOD.	X			X	X				Brachychiton discolor Queensland Lacebark
OLEA EUROPAEA	Olive (fruitless)	LOW			X	X	X			X	
PHOENIX DACTYLIFERA	Date Palm	LOW			X	X	X			X	
PINUS CANARIENSIS	Canary Island Pine	LOW	X	X					X		
PINUS HALIPENSIS	Aleppo Pine	LOW	X					X			
PINUS PINEA	Stone Pine	LOW	X			X					
PISTACHIA CHINENSIS	Chinese Pistache	MOD.			X		X			X	(keep on palette for fall color & performance)
PLATANUS ACERIFOLIA	London Plane Tree	MOD.	X	X		X	X		X		(keep on palette for performance)
PLATANUS RACEMOSA	California Sycamore	MOD.			X			X	X	X	(keep on palette for habitat & performance)
POPULUS NIGRA 'ITALICA'	Lombardy Poplar	MOD.			X			X	X	X	Ginkgo 'Autumn Gold' Autumn Gold Maiden Hair
PRUNUS (blirtenina) CERASIFERA	Purple Leaf Plum	MOD.	X				X				Feijoa sellowiana Pineapple Guava
PYRUS BRADFORDII	Bradford Pear	MOD.	X				X				Koelreuteria paniculata Golden Rain Tree
SALIX BABYLONICA	Weeping Willow	HIGH			X			X	X	X	Schinus molle Peruvian (Calif.) Pepper
SCHINUS MOLLE	Peruvian (x Calif.) Pepper	V. LOW			X			X	X		
TRISTANIA (LOPHOSTEMON) CONFERTA	Brisbane Box	MOD.	X	X		X	X	X	X		(keep on palette for narrow shape & performance)
ULMUS PARVIFOLIA	Chinese Elm	MOD.			X	X		X		X	(keep on palette for performance - 'True Green' variety)
WASHINGTONIA ROBUSTA	Mexican Fan Palm	LOW			X				X	X	
Suggested Additions:											
GEIJERA PARVIFLORA	Australian Willow	LOW	X	X	X	X	X		X		Suggested evergreen for new low water palette
CERCIDIUM 'DESERT MUSEUM'	Desert Museum Palo Verde	V. LOW	X	X	X	X	X				Suggested accent tree for new low water palette

EXISTING TREE PALETTE & REPLACEMENT RECOMMENDATIONS

CITY OF CYPRESS Cypress Business Park Specific Plan Appendix D

entries

Botanical Name

TREES

Cercidium 'Desert Museum'
 Chorisia (Ceiba) speciosa
 Erythrina caffra
 Geijera parviflora
 Ginkgo biloba 'Autumn Gold' (male)
 Gleditsia triacanthos
 Laurus nobilis 'saratoga'
 Liriodendron tulipifera
 Olea europaea (fruitless)
 Phoenix dactylifera
 Pinus pinea
 Pistacia chinensis
 Platanus acerifolia
 Platanus racemosa
 Quercus agrifolia
 Quercus chrysolepis
 Quercus engelmannii
 Quercus lobata
 Tipuana tipu
 Tristania conferta
 Ulmus parvifolia 'True Green'

Common Name

Desert Museum Palo Verde
 Floss Silk Tree
 Coral Tree
 Australian Willow
 Autumn Gold Maiden Hair
 Honey Locust
 Saratoga Laurel
 Tulip Tree
 Olive (fruitless)
 Date Palm
 Stone Pine
 Chinese Pistache
 London Plane Tree
 Western Sycamore
 Coast Live Oak
 Canyon Live Oak
 Engelman Oak
 Valley Oak
 Tipu Tree
 Brisbane Box
 True Green Chinese Elm

Botanical Name

SHRUBS & GROUNDCOVERS

Acacia redolens 'Desert Carpet'
 Arbutus unedo 'Compacta'
 Arctostaphylos 'Pacific Mist'
 Artemisia californica 'Montara'
 Bougainvillea 'Rosenka' (compact)
 Carissa macrocarpa spp. and cvs.
 Ceanothus griseus var. horizontalis
 Cotoneaster dammeri 'Lowfast'
 Gazania species
 Grevillea 'Noellii'
 Juniperus conferta 'Blue Pacific'
 Lantana 'New Gold'
 Leucophyllum frutescens
 Olea europaea 'Montra'
 Penstemon het. 'Margarita BOP'
 Pittosporum tobira 'Variegata'
 Rhamphiolepis indica 'Clara'
 Rhamphiolepis indica 'Pinkie'
 Rosmarinus o. 'Huntington Carpet'
 Westringia fruticosa 'Morning Light'

Common Name

Prostrate Acacia
 Compact Strawberry Tree
 Pacific Mist Manzanita
 California Montara Sagebrush
 Rosenka Shrub Bougainvillea
 Natal Plum
 Creeping California Lilac
 Bearberry Cotoneaster
 Gazania
 Grevillea
 Shore Juniper
 New Gold Lantana
 Texas Ranger
 Little Ollie Dwarf Olive
 Foothill Penstemon
 Variegated Mock Orange
 White India Hawthorne
 Pink India Hawthorne (Low)
 Huntington Carpet Rosemary
 Morning Light Coast Rosemary

Botanical Name

GRASSES

Bouteloua gra. 'Blonde Ambition'
 Dianella cap. 'Clarity Blue'
 Dianella revoluta 'Little Rev'
 Festuca mairei
 Hesperaloe parviflora 'Brake Lights'
 Lomandra long. 'Platinum Beauty'
 Muhlenbergia capillaris 'Regal Mist'
 Muhlenbergia dubia

Common Name

Blonde Ambition Blue Grama
 Clarity Blue Flax Lily
 Little Rev Flax Lily
 Atlas Fescue
 Brake Lights Red Yucca
 Variegated Dwarf Mat Rush
 Regal Mist Muhly
 Pine Muhly

SUCCULENTS

Agave 'Blue Flame'
 Agave 'Blue Glow'
 Aloe 'Blue Elf'
 Aloe striata
 Bulbine frutescens
 Sedum adolphii 'Firestorm'
 Senecio serpens

Blue Flame Agave
 Blue Glow Agave
 Blue Elf Aloe
 Coral Aloe
 Stalked Bulbine
 Firestorm
 Blue Chalk Sticks

PROPOSED PLANT PALETTE - ENTRIES

CITY OF CYPRESS Cypress Business Park Specific Plan Appendix D

parking areas & building foundations

Botanical Name

Common Name

TREES

Agonis flexuosa 'After Dark'
 Arbutus unedo 'Marina'
 Cercidium 'Desert Museum'
 Chilopsis linearis 'Burgandy'
 Erythrina castra
 Feijoa (Acca) sellowiana
 Geijera parviflora
 Ginkgo biloba (male)
 Gleditsia triacanthos
 Juniperus sco. 'Witchita Blue'
 Koeleruteria paniculata
 Lagerstroemia indica
 Laurus nobilis
 Ligustrum lucidum
 Leptospermum scoparium
 Nyssa sylvatica
 Olea Europaea (fruitless)
 Phoenix dactylifera
 Pinus (brutia ssp.) eldarica
 Pistacia chinensis
 Platanus acerifolia 'Bloodgood'
 Prosopis glandulosa 'Maverick'
 Quercus chrysolepis
 Quercus ilex
 Quercus suber
 Quercus tomentella
 Tamarix aphylla
 Tristania (Lophostemon) conferta
 Tipuana tipu
 Ulmus parviflora
 Umbellularia californica

After Dark Peppermint Willow
 Marina Strawberry Tree
 Desert Museum Palo Verde
 Burgandy Desert Willow
 Coral Tree
 Pineapple Guava
 Australian Willow
 Ginkgo (Male only)
 Honey Locust
 Witchita Blue Juniper
 Golden Rain Tree
 Grape Myrtle
 Sweet Bay / Laurel
 Glossy Privet
 New Zealand Tea Tree
 Sour Gum
 Fruitless Olive
 Date Palm
 Mondell Pine
 Chinese Pistache
 London Plane Tree
 Thornless Honey Mesquite
 Canyon Live Oak
 Holly Oak
 Cork Oak
 Island Oak
 Athel Tree
 Brisbane Box
 Tipu Tree
 Chinese Elm
 California Laurel

Botanical Name

Common Name

SHRUBS & GROUNDCOVERS

Arbutus unedo 'Compacta'
 Arctostaphylos 'Pacific Mist'
 Arctostaphylos D. 'Howard McMinn'
 Bougainvillea 'Rosenka' (compact)
 Ceanothus 'Centennial'
 Ceanothus griseus var. horizontalis
 Cotoneaster dammeri 'Lowfast'
 Cotoneaster horizontalis perpusillus
 Grevillea 'Noellii'
 Juniperus conferta 'Blue Pacific'
 Lantana 'New Gold'
 Leucophyllum frutescens
 Limonium perezii
 Lonicera japonica 'Halliana'
 Olea europaea 'Montra'
 Penstemon het. 'Margarita BOP'
 Pittosporum tobira 'Variegata'
 Rhamphiolepis indica 'Clara'
 Rhamphiolepis indica 'Pinkie'
 Rosa 'Noare'
 Rosmarinus o. 'Huntington Carpet'
 Rosmarinus o. 'Prostratus'
 Salvia apiana 'Compacta'
 Salvia clev. 'Winnifred Gilman'
 Salvia greggii 'Hotlips'
 Salvia leucantha
 Trichostema lanatum
 Westringia fruticosa 'Morning Light'

Compact Strawberry Tree
 Pacific Mist Manzanita
 Howard McMinn Manzanita
 Rosenka Shrub Bougainvillea
 Centennial Ceanothus
 Creeping California Lilac
 Bearberry Cotoneaster
 Rock Spray Cotoneaster
 Grevillea
 Shore Juniper
 New Gold Lantana
 Texas Ranger
 Statice/Sea Lavender
 Hall's Honeysuckle
 Little Ollie Dwarf Olive
 Foothill Penstemon
 Variegated Mock Orange
 White India Hawthorne
 Pink India Hawthorne (Low)
 Red Carpet Rose
 Huntington Carpet Rosemary
 Prostrate Rosemary
 Compact White Sage
 Winnifred Gilman Sage
 Hot Lips Autumn Sage
 Mexican Bush Sage
 Woolly Blue Curls
 Morning Light Coast Rosemary

Botanical Name

Common Name

GRASSES

Bouteloua gra. 'Blonde Ambition'
 Chondropetalum iec. 'El Campo'
 Dianella cap. 'Clarity Blue'
 Dianella revoluta 'Little Rev'
 Festuca mairei
 Hesperaloe parviflora 'Brake Lights'
 Lomandra long. 'Platinum Beauty'
 Muhlenbergia capillaris 'Regal Mist'
 Muhlenbergia dubia
 Sesteria autumnalis 'Greenlee'

Blonde Ambition Blue Grama
 El Campo Cape Rush
 Clarity Blue Flax Lily
 Little Rev Flax Lily
 Atlas Fescue
 Brake Lights Red Yucca
 Variegated Dwarf Mat Rush
 Regal Mist Muhly
 Pine Muhly
 Greenlee Moor Grass

SUCCULENTS

Agave 'Blue Flame'
 Agave 'Blue Glow'
 Aloe bainesii*
 Aloe 'Blue Elf'
 Aloe striata*
 Bulbine frutescens
 Crassula capitella*
 Sedum adolphii 'Firestorm'
 Sedum hispanicum 'Blue Carpet'
 Senecio serpens

Blue Flame Agave
 Blue Glow Agave
 Tree Aloe
 Blue Elf Aloe
 Coral Aloe
 Stalked Bulbine
 Campfire Crassula
 Firestorm
 StoneRop
 Blue Chalk Sticks

edges, buffers & boundaries

Botanical Name

TREES

Brachychiton rupestris
Callistemon citrinus
Callistemon viminalis
Calocedrus decurrens
Cordyline australis
Heteromeles arbutifolia
Juniperus californica
Nysa sylvatica
Pinus radiata
Platanus racemosa
Prunus ilicifolia
Prunus ilicifolia var lyonii
Quercus agrifolia
Quercus chrysolepis
Quercus engelmannii
Quercus ilex
Quercus lobata
Quercus tomentella
Tamarix aphylla
Tristania (Lophostemon) conferta
Ulmus parvifolia 'Dynasty'
Umbellularia californica
Washingtonia filifera

Common Name

Narrowleaf Bottle Tree
Bottlebrush
Weeping Bottlebrush
Incense Cedar
Cabbage Palm
Toyon
California Juniper
Sour Gum
Monterey Pine
Western Sycamore
Hollyleaf Cherry
Catalina Cherry
Coast Live Oak
Canyon Live Oak
Engelman Oak
Holly Oak
Valley Oak
Island Oak
Athel Tree
Brisbane Box
Dynasty Chinese Elm
California Laurel
California Fan Palm

Botanical Name

SHRUBS & GROUNDCOVERS

Arctostaphylos 'Pacific Mist'
Artemisia californica 'Montara'
Baccharis pilularis 'Pigeon Point'
Berberis aq. 'Golden Abundance'
Ceanothus griseus var. horizontalis
Diplacus aurantiacus
Encelia californica
Fremontodendron 'Ken Taylor'
Heuchera hybrids
Keckiella cordifolia
Mimulus cardinalis
Rhamnus californica 'Eve Case'
Rhus integrifolia
Ribes aureum v. gracillimum
Ribes speciosum
Salvia apiana 'Compacta'
Salvia leucantha
Salvia spathacea
Solidago californica
Xylosma congesta

Common Name

Pacific Mist Manzanita
California Montara Sagebrush
Coyote Brush
Golden Abundance Mahonia
Yankee Point Ceanothus
Sticky Monkey Flower
Coast Sunflower
Ken Taylor Flannel Bush
Coral Bells
Heart-leaf Penstemon
Scarlet Monkey Flower
Coffeeberry
Lemonadeberry
Golden Currant
Fuchsia Flowering Gooseberry
Compact White Sage
Salvia elev. 'Winnifred Gilman'
Hummingbird Sage
California Goldenrod
Shiny Xylosma

Botanical Name

GRASSES

Festuca californica
Festuca mairei
Muhlenbergia rigens

Common Name

California Fescue
Atlas Fescue
Deer Grass

PROPOSED PLANT PALETTE - EDGES, BUFFERS & BOUNDARIES

CITY OF CYPRESS Cypress Business Park Specific Plan Appendix D

RESOLUTION NO. ____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CYPRESS, CALIFORNIA, AMENDING THE LAND USE ELEMENT AND LAND USE MAP OF THE CITY OF CYPRESS GENERAL PLAN TO REMOVE OR REPLACE REFERENCES TO EXISTING SPECIFIC PLANS THAT ARE REPEALED AS A RESULT OF THE BUSINESS PARKS MODERNIZATION AND INTEGRATION PROJECT

WHEREAS, the City Council desires to integrate and modernize five of the Cypress Business Parks specific plans (excluding the Warland/Cypress Business Center Specific Plan and Cypress Town Center and Commons 2.0 Specific Plan) through the adoption of a single, comprehensive Cypress Business Park Specific Plan ("Project"); and

WHEREAS, the Project requires the following to be approved by the City Council: an ordinance repealing the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1 and adopting the Cypress Business Park Specific Plan; a Resolution amending the Land Use Element and Land Use Policy Map of the City of Cypress General Plan to remove references to repealed Specific Plans and replace them with references to the Cypress Business Park Specific Plan; an ordinance amending Subsections 2.06.050 (Commercial off-street parking requirements), 2.07.050 (Industrial off-street parking requirements), 3.14.050 (Development standards for parking), and 6.31.020 (Definitions of specialized terms and phrases) of Appendix I (Zoning) of the Cypress City Code to update off-street parking requirements and definitions pertaining to business park uses; and an Initial Study/Negative Declaration ("IS/ND"); and

WHEREAS, it is necessary to update the General Plan Land Use Element to remove references to the following Specific Plans that are repealed and replaced by the Cypress Business Park Specific Plan: Lusk/Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1; and

WHEREAS, the City Council finds that the Project is consistent with the following General Plan Land Use Element Goals: LU-10, to "carefully regulate future development in the Business Park to ensure the current high quality environment is maintained"; LU-14, to "attract high quality businesses to Commercial and Business Park areas"; LU-15, to "retain and facilitate the expansion of businesses throughout the City"; and, LU-16, to "continue to diversify the Cypress Business Park to maintain its competitiveness"; and the Project furthers these goals by providing a comprehensive and modernized plan for 439 acres of the Cypress Business Park that addresses current and projected economic conditions and land uses, streamlines approval processes, and provides updated development and performance standards that serves to attract new businesses and maintain the high-quality environment of the Business Park; and

WHEREAS, in compliance with the requirements of the California Environmental Quality Act (CEQA), on _____, 2025, the City Council of the City of Cypress fully considered

the IS/ND prior to considering this resolution, and adopted the IS/ND that was prepared for the Project in accordance with CEQA; and

WHEREAS, on _____, 2025, the City Council held a duly noticed public hearing and considered testimony on the Resolution.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CYPRESS DOES RESOLVE AS FOLLOWS:

SECTION 1. Findings. Pursuant to Subsection 5.28.120 (Findings Required) of Section 28 (Amendments) of Appendix I (Zoning) of the Cypress City Code, the City Council finds, after due study and deliberation that the following circumstances exist:

1. The proposed amendment is in the public interest, and that there will be a community benefit resulting from the amendment;

The proposed amendment will update the specific plan references in the Land Use Element to ensure consistency between the General Plan and the new Cypress Business Park Specific Plan. The Cypress Business Park Specific Plan will result in community benefits by providing updated and modernized regulations that encourage the ongoing economic vitality of the Business Park while ensuring business park land uses do not negatively impact the surrounding community.

2. The proposed amendment is consistent with the other goals, policies, and objectives of the general plan;

The Project is consistent with the following Land Use Element Goals: LU-10, to "carefully regulate future development in the Business Park to ensure the current high quality environment is maintained"; LU-14, to "attract high quality businesses to Commercial and Business Park areas"; LU-15, to "retain and facilitate the expansion of businesses throughout the City"; and, LU-16, to "continue to diversify the Cypress Business Park to maintain its competitiveness". The Project furthers these goals providing a comprehensive plan for 439 acres of the Cypress Business Park. As a comprehensive and modernized plan, the new Cypress Business Park Specific Plan addresses current and projected economic conditions and land uses, streamlines approval processes, and provides updated development and performance standards. With these features, the new Specific Plan serves to attract new businesses and maintain the high-quality environment of the Business Park.

3. The proposed amendment will not conflict with provisions of the zoning ordinance, subdivision regulations, or any applicable specific plan; and

The main objective of the Project involves repealing five existing specific plan documents and any associated amendments and replacing them with the Cypress Business Park Specific Plan. The amendment ensures that the General Plan is updated to maintain consistency with the new Specific Plan. The amendment will not conflict with any provisions of the zoning ordinance or subdivision regulations.

4. In the event that the proposed amendment is a change to the land use policy map, the amendment will not adversely affect surrounding properties.

The amendment will update the General Plan Land Use Map to reflect the new Cypress Business Park Specific Plan. The uses permitted in the new Specific Plan are not substantially different from the uses formerly permitted under the repealed specific plans. Therefore, the amendment will not adversely affect surrounding properties.

SECTION 2. The “Specific Plans” paragraph (Page LU-2) of the “Relationship with Other Plans and General Plan Elements” subsection of the “Introduction to the Land Use Element” section of the Land Use Element is hereby revised as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

Specific Plans. Specific Plans are designed to implement General Plan goals and policies by designating land uses, densities, development and design standards in more specific detail. This is accomplished by designating specific locations and intensities for land uses and specific development standards and design guidelines. A specific plan is able to address smaller areas that have unique qualities and require focused planning attention. A specific plan may be designed to implement any of a general plan's elements.

Cypress has adopted ~~six specific plans~~ **the Cypress Business Park Specific Plan,** which **replaced five former specific plans and** provides development guidelines for ~~the a majority of the~~ Cypress Business Park; ~~Cypress Corporate Center Specific Plan; McDonnell Center Specific Plan; Warland/Cypress Business Center Specific Plan; Cypress View Limited Specific Plan; Cypress Business and Professional Center Specific Plan; and the Lusk Company Industrial Park.~~ **The Warland/Cypress Business Center Specific Plan provides development guidelines for the remainder of the Business Park.** In addition, the City has adopted four other specific plans – one to guide the development of the Sorrento Homes project, two to guide development in focused areas on Orange Avenue, and another to guide the development and design of projects along Lincoln Avenue. The boundaries of each specific plan area are delineated on Exhibit LU-4, *Land Use Policy Map*, at the end of this Element.

SECTION 3. The “Cypress Business Park and Professional Center Specific Plan” paragraph (Page LU-8) of the “Relationship of Existing Plans and Programs to Citywide Economic Development Efforts” subsection of the “Introduction to the Land Use Element” section of the Land Use Element is hereby revised as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

Los Alamitos Race Track~~Cypress Business Park and Professional Center Specific Plan.~~ Another area that is targeted for significant economic development is around the Los Alamitos Race Track along Walker Street and Katella Avenue. The Cypress Business and Professional Center Specific Plan was established to provide comprehensive guidance and regulations for the development of approximately 298.2 gross acres within the City of Cypress. **In 2024, this Specific Plan was repealed and its provisions were incorporated into the Cypress Business Park Specific Plan.** The **Cypress Business Park** Specific Plan will **continue to** carry out the Land Use Plan which **includes**~~proposes~~ approximately 11.8 acres of Mixed Use Business Park; 33.4 acres of Professional Office; ~~21.29.5~~ **21.29.5** acres of Professional Office and Hotel and Support Commercial uses; 8.2 acres of Mixed Use Business Park/General Retail commercial; 93.6 acres of renovated golf course and 130 acres of existing race track **for a total of about 1.83 million square feet of building area.** As mentioned above, this area ~~is~~ also has a redevelopment plan to provide economic development assistance.

SECTION 4. The "Industrial" subsection (Page LU-12) of the "Summary of Existing Conditions" section of the Land Use Element is hereby revised as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

INDUSTRIAL

The Industrial land use designation includes both business park and light industrial uses.

BUSINESS PARK

The majority of business park uses are located within ~~two six~~ specific plan areas, which are listed below. Refer to the Land Use Categories section of this Element for a more detailed breakdown of uses allowed in the Business Park area specific plans. The remaining land designated for business park uses comprises approximately 18 acres.

LIGHT INDUSTRIAL

The number of light industrial land uses are limited and cover only six (6) acres of land in the City. Parcels identified as light industrial are primarily located adjacent to Lincoln Avenue, with light industrial parks located at Cerritos Avenue and Walker Street, as well as at Valley View Street and Lakeshore Drive. The majority of light industrial uses in Cypress are related to automotive repair.

CYPRESS BUSINESS PARK

The 587-acre Cypress Business Park located in southern Cypress is approximately 81 percent built out with business park-related land uses. As of January 2000, the developed portion of the business park comprised approximately 475 acres.

The Cypress Business Park has attained a high quality of development through the use of Specific Plans which coordinate development in the area and set forth design standards for development. The ~~following~~ **Cypress Business Park Specific Plan and Warland/Cypress Business Center Specific Plans** govern development within the business park. **The Cypress Business Park Specific Plan was adopted in 2024 to provide comprehensive, modernized guidelines for 439 acres of the Business Park. The Cypress Business Park Specific Plan replaced the following specific plans, which were repealed:**

- Cypress Corporate Center Specific Plan and Cypress Corporate Center Amended Specific Plan
- McDonnell Center Amended Specific Plan
- ~~Warland/Cypress Business Center Specific Plan~~
- Cypress View Limited Specific Plan
- Cypress Business and Professional Center Specific Plan
- Lusk Company Industrial Park

SECTION 5. The "Cypress Business Park" subsection (Page LU-19) of the "Key Land Use Issues" section of the Land Use Element is hereby revised as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

CYPRESS BUSINESS PARK

The 587-acre Cypress Business Park represents the single largest remaining development opportunity in the City. ~~A series of six~~ Two specific plans have been adopted to govern future development in the area.

Several property owners adjoining the unused Union Pacific Railroad right-of-way have expressed interest in purchasing or leasing pieces of the right-of-way to provide additional parking, outdoor storage, or new structures.

SECTION 6. The "Specific Plan" paragraph (Page LU-24) of the "Land Use Categories" subsection of the "Description of the Land Use Plan" section of the Land Use Element is hereby revised as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

Specific Plan. The Specific Plan designation is intended to address specific areas within the community that warrant a comprehensive set of land use policies and standards to provide flexibility in the design of development projects. The Specific Plan designation is consistent with all other land use designations of the General Plan.

Sites within a Specific Plan designation are to be developed according to standards adopted within the applicable specific plan to address specific site constraints and opportunities, including land use, building envelope standards, site design, buffering, traffic, noise, and other land use compatibility impacts. **The maximum intensity allowed on any site in the Cypress Business Park Specific Plan area is 1.0 FAR.**

SECTION 7. Under the "Specific Plan" paragraph (Pages LU-26, LU-27, LU-28) of the "Land Use Categories" subsection of the "Description of the Land Use Plan" section of the Land Use Element the following tables are hereby deleted and the remaining tables renumbered appropriately: Table LU-4 (Cypress Corporate Center Amended Specific Plan), Table LU-5 (McDonnell Center Amended Specific Plan), Table LU-7 (Cypress View Limited Specific Plan), and Table LU-8 (Cypress Business and Professional Center Specific Plan).

SECTION 8. The Cypress General Plan Land Use Policy Map (Exhibit LU-4) is hereby deleted and replaced with a revised map, included as Exhibit "A" to this resolution.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Cypress at a regular meeting held on the __ day of _____, 2025.

MAYOR OF THE CITY OF CYPRESS

ATTEST:

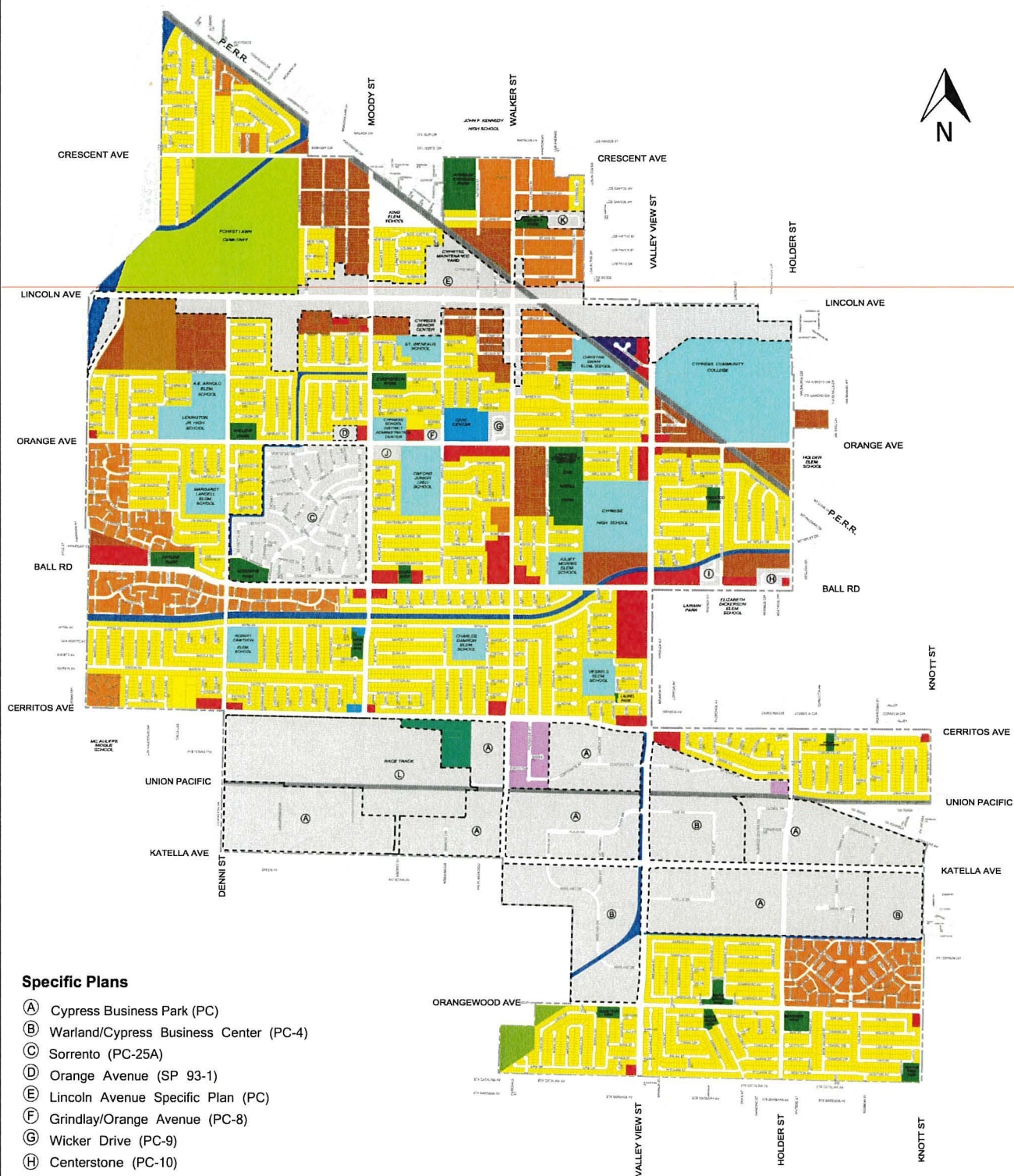
CITY CLERK OF THE CITY OF CYPRESS

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS

I, ALISHA FARNELL, City Clerk of the City of Cypress, DO HEREBY CERTIFY
that the foregoing Ordinance was duly adopted at a regular meeting of said City Council
held on the __ day of _____, 2025, by the following roll call vote:

AYES: COUNCIL MEMBERS:
NOES: COUNCIL MEMBERS:
ABSENT: COUNCIL MEMBERS:
ABSTAIN: COUNCIL MEMBERS:

CITY CLERK OF THE CITY OF CYPRESS



Specific Plans

- (A) Cypress Business Park (PC)
- (B) Warland/Cypress Business Center (PC-4)
- (C) Sorrento (PC-25A)
- (D) Orange Avenue (SP 93-1)
- (E) Lincoln Avenue Specific Plan (PC)
- (F) Grindlay/Orange Avenue (PC-8)
- (G) Wicker Drive (PC-9)
- (H) Centerstone (PC-10)
- (I) Cypress Park (PC 11)
- (J) Harmony (PC 12)
- (K) MacKay Place (PC-13)
- (L) Cypress Town Center & Commons

Residential:

- Low Density (0-5 du/ac)
- Medium Density (5.1-15 du/ac)
- High Density (15.1-20 du/ac)
- Mobile Home Park (0-12 du/ac)

Commercial:

- General Neighborhood (0.5:1 FAR)
- Business Park (1.0:1 FAR)
- Light Industrial (0.5:1 FAR)

Community Services and Facilities:

- Government
- Education Facilities
- Public Parks
- Golf Course (Privately - Owned)
- Race Track (Privately - Owned)
- Cemetery (Privately - Owned)
- Flood Control Facilities
- Rail Road
- Specific Plan Area
- Specific Plan Boundaries
- Parcels Outside the City
- City Limits

CITY OF CYPRESS GENERAL PLAN

April 2024

Land Use Policy Map

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CYPRESS, CALIFORNIA, AMENDING SUBSECTIONS 2.06.050 (COMMERCIAL OFF-STREET PARKING REQUIREMENTS), 2.07.050 (INDUSTRIAL OFF-STREET PARKING REQUIREMENTS), 3.14.050 (DEVELOPMENT STANDARDS FOR PARKING), AND 6.31.020 (DEFINITIONS OF SPECIALIZED TERMS AND PHRASES) OF APPENDIX I (ZONING) OF THE CYPRESS CITY CODE TO UPDATE OFF-STREET PARKING REQUIREMENTS AND DEFINITIONS PERTAINING TO BUSINESS PARK LAND USES

WHEREAS, the City Council desires to integrate and modernize five of the Cypress Business Parks specific plans (excluding the Warland/Cypress Business Center Specific Plan and Cypress Town Center and Commons 3.0 Specific Plan) through the adoption of a single, comprehensive Cypress Business Park Specific Plan ("Project"); and

WHEREAS, the Project requires the following to be approved by the City Council: an ordinance repealing the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1 and adopting the Cypress Business Park Specific Plan; a Resolution amending the Land Use Element and Land Use Policy Map of the City of Cypress General Plan to remove references to repealed Specific Plans and replace them with references to the Cypress Business Park Specific Plan; an ordinance amending Subsections 2.06.050 (Commercial off-street parking requirements), 2.07.050 (Industrial off-street parking requirements), 3.14.050 (Development standards for parking), and 6.31.020 (Definitions of specialized terms and phrases) of Appendix I (Zoning) of the Cypress City Code to update off-street parking requirements and definitions pertaining to business park uses; and an Initial Study/Negative Declaration ("IS/ND"); and

WHEREAS, it is necessary to amend the Zoning Ordinance to: (1) update off-street parking requirements in order to streamline regulations, reduce potential conflicts or redundancies between the Specific Plan and the Zoning Ordinance, and centralize parking standards to enhance efficiency, clarity, and simplify future amendments in the planning process; and (2) modernize certain land use definitions for consistency with the Cypress Business Park Specific Plan, ensuring they address current economic conditions and evolving land uses; and

WHEREAS, the City Council finds that the Project is consistent with the following General Plan Land Use Element Goals: LU-10, to "carefully regulate future development in the Business Park to ensure the current high quality environment is maintained"; LU-14, to "attract high quality businesses to Commercial and Business Park areas"; LU-15, to "retain and facilitate the expansion of businesses throughout the City"; and, LU-16, to "continue to diversify the Cypress Business Park to maintain its competitiveness"; and the Project furthers these goals by providing a comprehensive and modernized plan for 439 acres of the Cypress Business Park that addresses current and projected economic conditions and land uses, streamlines approval processes, and provides updated development and performance standards that serves to attract new businesses and maintain the high-quality environment of the Business Park; and

WHEREAS, in compliance with the requirements of the California Environmental Quality Act (CEQA), on _____, 2025, the City Council of the City of Cypress fully considered

the IS/ND prior to considering this ordinance, and adopted the IS/ND that was prepared for the Project in accordance with CEQA; and

WHEREAS, on _____, 2025, the City Council held a duly noticed public hearing and considered testimony on the Ordinance.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CYPRESS DOES ORDAIN AS FOLLOWS:

SECTION 1. The City Council hereby specifically finds that all of the facts set forth in the above Recitals are true and correct and are incorporated herein as findings of the City Council.

SECTION 2. Table 2-9 (Commercial Zoning District Parking Requirements) of Subsection 2.06.050 (Commercial off-street parking requirements) of Section 6 (Commercial Zoning Districts) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

TABLE 2-9 COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS	
Use	Vehicle Spaces Required
<i>Education, Public Assembly, and Religious Facility Uses</i>	
Clubs or lodges	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
Commercial trade schools	1 space for each 2 faculty and employee members, plus 1 space for each 3 full time (or equivalent) enrolled students
Convents, monasteries, nurseries, parsonages, and places of worship	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
<i>Educational institutions</i>	
Elementary or Junior high schools	2 spaces for each classroom
High schools	7 spaces for each classroom
Colleges or universities	3/4 space for each full-time student, less the number of spaces provided for student housing (dormitories).
Studios — art, dance, karate, music, photography, etc.	1 space for each 250 square feet of gross floor area Plus 1 space/employee
<i>Entertainment and Recreational Facility Uses</i>	
Adult entertainment	Municipal Code Chapter 15F
Bingo game operations	1 space for each 100 square feet of gross floor area, but no less than 20 spaces
Health/fitness centers	1 space for every 3 persons served, based on the maximum allowed capacity of all facilities capable of simultaneous use, as determined by the director

TABLE 2-9
COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS

Use	Vehicle Spaces Required
Indoor amusement/entertainment/recreation centers	1 space for every 3 persons served, based on the maximum anticipated capacity of all facilities capable of simultaneous use, as determined by the director
Live entertainment (any establishment requiring a live entertainment permit in compliance with chapter 9 of the Municipal Code)	1 space for every 2 persons, based upon the maximum occupancy of the public area, as determined by the building official, plus the parking spaces required for employees based upon the nature of the underlying business and the requirements of this table
Nightclubs	1 space for every 3 persons served, based on the maximum allowed capacity of all facilities capable of simultaneous use, as determined by the director
Outdoor amusement/entertainment/recreation centers	1 space for every 3 persons served, based on the maximum allowed capacity of all facilities capable of simultaneous use, as determined by the director
Theaters, auditoriums, and meeting halls	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
<i>Motor Vehicle and Related Retail Trade and Service Uses</i>	
Motorcycle, sales and service	1 space for each 400 square feet of gross floor area, plus 1 space for each 800 square feet of outdoor display space, but not less than 5 spaces
Motor vehicle leasing/rental agencies	1 space for each 400 square feet of gross floor area, plus 1 space for each 1,000 square feet of outdoor display space, but not less than 5 spaces
Motor vehicle parts and supplies	1 space for each 250 square feet of gross floor area
Motor vehicle quick tune facility	2 spaces for every service bay, but with a minimum of 6 spaces. Service bays do not count as parking spaces, although queuing spaces for bays located outside of on-site circulation aisles may count as required spaces
Motor vehicle repair and normal maintenance	2 spaces, plus 2 spaces for every service bay, with a minimum of 5 spaces. Service bays do not count as parking spaces
Motor vehicle repair engaged primarily in long-term vehicle restoration projects	2 spaces, plus 1 space for every service bay, with a minimum of 5 spaces. Service bays do not count as parking spaces
Motor vehicle sales	1 space for each 400 square feet of gross floor area, plus 1 space for each 800 square feet of outdoor display space, but not less than 5 spaces

TABLE 2-9
COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS

Use	Vehicle Spaces Required
Motor vehicle washing	
Full-service or automatic	1 space for each 3 employees on the largest shift, plus 600 square feet of drying space for each 20 feet of conveyor length
Self-service or coin-operated	2 spaces for each wash bay. Queuing space may count as parking spaces
Service stations (1)	5 spaces, plus additional spaces as required for accessory uses (e.g., mini-markets)
Towing services	1 space for each employee on the largest shift, plus adequate space for temporary parking of towed vehicles, as determined by the director
Truck and/or trailer rentals, sales, and/or services	1 space for each 400 square feet of gross floor area, plus 1 space for each 500 square feet of outdoor display space, but not less than 5 spaces
<i>Public/Semi Public Facility Uses</i>	
Community/recreational centers	1 space for every 3 persons served, based on the maximum anticipated capacity of all facilities capable of simultaneous use, as determined by the director
Government enterprises	1 space for each 250 square feet of gross floor area
<u>Public utility, public works, postal, and support facilities</u>	<u>1 space for each 250 square feet of gross floor area</u>
Libraries	1 space for each 300 square feet of gross floor area
Museums	1 space for each 300 square feet of gross floor area
<i>Residential Uses</i>	
Assisted living facilities	1 space for every 2 beds
Caretaker/employee housing	1 space for each unit
Dormitories	1 space for each guest room
Live/work facilities	1 space for unit plus 1 space for each 5 units
<i>Retail Trade Uses</i>	
Appliance stores	1 space for each 250 square feet of gross floor area
Artist's studios	1 space for each 250 square feet of gross floor area
Bar/liquor establishments (on-site consumption only)	1 space for each 100 square feet of gross floor area, but no less than 10 spaces
Building materials stores/yards	1 space for each 250 square feet of indoor display area 1 space for each 1,000 square feet of outdoor display area
Department stores	1 space for each 350 square feet of gross floor area
Florists' shops	1 space for each 250 square feet of gross floor area

TABLE 2-9
COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS

Use	Vehicle Spaces Required
Furniture/furnishings, rentals, sales, and service stores	1 space for each 250 square feet of gross floor area
Garden centers or plant nurseries	15 spaces, plus 1 additional space for each 1,000 square feet of outdoor sales and/or display area
Grocery stores (not including mini-markets)	1 space for each 225 square feet of gross floor area (including display areas)
Interior decorating or drapery shops	1 space for each 250 square feet of gross floor area
Janitorial sales and service	1 space for each 250 square feet of gross floor area
Mini-markets	1 space for each 250 square feet of gross floor area (including display areas), but not less than 5 spaces
Outdoor retail sales and activities as an accessory use	1 space for each 1,000 square feet of outdoor display area
Office equipment/supply stores	1 space for each 250 square feet of gross floor area
Pawn shops	1 space for each 250 square feet of gross floor area
Pool and spas, sales, service, and supplies	1 space for each 250 square feet of gross floor area
Restaurants, fast food, with or without drive-through service, or with outdoor seating	1 space for each 200 square feet of gross floor area, but no less than 10 spaces
Restaurants, sit-down	1 space for each 400 125 square feet of gross floor area, but no less than 10 spaces
Restaurant, Take-out or limited seating (10 permanent seats or less)	1 space per 250 square feet of gross floor area, but not less than 8 spaces
Retail stores, general merchandise	1 space for each 250 square feet of gross floor area
Shopping centers 10,000 sq. ft.	1 space for each 225 square feet of gross floor area
Sporting goods stores	1 space for each 250 square feet of gross floor area
Stone, rock, and monument yards	1 space for each 350 square feet of gross floor area
Warehouse retail stores	1 space for each 250 square feet of indoor display area, 1 space for each 1,000 square feet of outdoor display area
<i>Service Uses</i>	
Acupuncture clinics	1 space for each 200 square feet of gross floor area
Ambulance services	1 space for each employee on the largest shift, plus 1 space for each emergency vehicle parked on the premises
Auction houses	1 space for each 250 square feet of gross floor area
Banks and financial services	1 space for each 250 square feet of gross floor area
Barber or beauty shops	1 space for each 200 square feet of gross floor area
Business support services	1 space for each 250 square feet of gross floor area

**TABLE 2-9
COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS**

Use	Vehicle Spaces Required
Catering services	1 space for each 350 square feet of gross floor area plus 1 space/employee
Check cashing services	1 space for each 250 square feet of gross floor area
Contractor's equipment yards	1 space for each 400 square feet of gross floor area, plus 1 space for each 1,000 square feet of outdoor storage space, but not less than 5 spaces
Construction equipment rentals	1 space for each 500 square feet of indoor display area for the first 10,000 square feet 1 space for each 1,000 square feet of indoor display area over 10,000; 1 space for each 1,000 square feet of outdoor display area
Community care facilities	1/2 space for each bed
Convalescent/rest homes	1 space for every 3 beds
Day care centers (2)	1 space for each employee on the largest shift, plus 1 space for every 10 children for which the facility is licensed <u>Childcare facilities which exclusively service the employees of a facility shall require no additional parking</u> <u>One loading space shall be provided</u>
Dry cleaning plants	1 space for each 250 square feet of gross floor area
Dry cleaning services, drop-off only	1 space for each 250 square feet of gross floor area, but no less than 5 spaces
Equipment rental establishments	1 space for each 500 square feet of indoor display area for the first 10,000 square feet 1 space for each 1,000 square feet of indoor display area over 10,000; 1 space for each 1,000 square feet of outdoor display area
Fortune telling businesses	1 space for each 200 square feet of gross floor area
Hospitals	2 spaces for each bed
Hotels, motels, or inns	<u>0.75 space for each guest room; 2 spaces for each resident manager or owner 1 space for each guest room, plus 3/4 for each employee on largest shift, plus additional spaces as required for accessory uses</u>
Laundromats, self-service	1 space for each 250 square feet of gross floor area, but no less than 5 spaces
Medical/dental offices, services, and clinics	1 space for each 200 square feet of gross floor area
Laboratories	1 space for each 250 square feet of office gross floor area, plus 1 space for each 350 square feet of products or area

**TABLE 2-9
COMMERCIAL ZONING DISTRICT PARKING REQUIREMENTS**

Use	Vehicle Spaces Required
Mortuaries	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
Offices, professional	1 space for each 250 square feet of gross floor area
Personal services	1 space for each 200-250 square feet of gross floor area
Photo-copy/desktop facilities	1 space for each 250 square feet of gross floor area
Photography studios/supply shops	1 space for each 250 square feet of gross floor area
Printing and publishing	1 space for each 250 square feet of office gross floor area, plus 1 space for each 500 square feet of plant gross floor area
Public utility offices	1 space for each 250 square feet of gross floor area
Recycling, reverse vending machines (3)	No additional parking is required for facilities located in the established parking lot of a host use; provided, the use of the recycling facility does not reduce the available parking of the host use below the minimum required by this section.
Repair/maintenance, consumer products	1 space for each 250 square feet of gross floor area
Sign shops	1 space for each 350 square feet of gross floor area
Storage (mini, personal, and self storage) facilities	1 space for each 250 square feet of office gross floor area, but no less than 2 spaces
Travel agencies	1 space for each 250 square feet of gross floor area
Upholstery shops	1 space for each 350 square feet of gross floor area
Veterinarian services, animal small hospitals	1 space for each 300 square feet of gross floor area, excluding animal holding areas

SECTION 3. Table 2-14 (Industrial Zoning District Parking Requirements) of Subsection 2.07.050 (Industrial off-street parking requirements) of Section 7 (Industrial Zoning Districts) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in **bold underline**; deletions in **~~bold strikethrough~~**):

**TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS**

Uses	Vehicle Spaces Required
<i>Education, Public Assembly, and Religious Facility Uses</i>	
Clubs or lodges	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
Commercial trade schools	1 space for each 2 faculty and employee members, plus 1 space for each 2 full time (or equivalent) enrolled students

TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS

Uses	Vehicle Spaces Required
Convents, monasteries, nurseries, parsonages, and places of worship	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
<i>Educational institutions</i>	
Elementary or Junior high schools	2 spaces for each classroom
High schools	7 spaces for each classroom
Colleges or universities	3/4 space for each full-time student, less the number of spaces provided for student housing (dormitories)
Studios — art, dance, karate, music, photography, etc.	1 space for each 250 square feet of gross floor area
<i>Entertainment and Recreational Facility Uses</i>	
Adult entertainment	Municipal Code Chapter 15F
Health/fitness centers	1/3 persons based on occupancy
Indoor amusement/entertainment/recreation centers	1 space for every 3 persons served, based on the maximum anticipated capacity of all facilities capable of simultaneous use, as determined by the director
Outdoor amusement/entertainment/recreation centers	1 space for every 3 persons served, based on the maximum anticipated capacity of all facilities capable of simultaneous use, as determined by the director
<i>Industrial, Manufacturing, or Processing</i>	
Industrial, manufacturing, or processing, including research and development activities and ancillary office space	1 space for every 250 square feet of gross floor area for office space; 1 space for every 800 square feet of gross floor area for manufacturing space, and 1 space for every 2,000 square feet of gross floor area for warehouse space
Recycling, small collection facilities and reverse vending machines (1)	No additional parking is required for facilities located in the established parking lot of a host use; provided, the use of the recycling facility does not reduce the available parking of the host use below the minimum required by this section
Warehousing, wholesaling, and distribution facilities	2 spaces for every 3 employees on the largest shift, but not less than 2 spaces for every 1,000 square feet of the first 20,000 square feet of gross floor area; 1 space for every 2,000 square feet of the next 20,000 square feet of gross floor area; and 1 space for every 4,000 square feet of gross floor area thereafter
<i>Motor Vehicle and Related Retail Trade and Service Uses</i>	
Motorcycle, sales and service	1 space for each 400 square feet of gross floor area, plus 1 space for each 800 square feet of outdoor display space, but not less than 5 spaces
Motor vehicle painting	1 space for each 500 square feet of gross floor area

**TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS**

Uses	Vehicle Spaces Required
Motor vehicle parts and supplies	1 space for each 250 square feet of gross floor area
Motor vehicle quick tune facility	2 spaces for every service bay, but with a minimum of 6 spaces. Service bays do not count as parking spaces, although queuing spaces for bays located outside of on-site circulation aisles may count as required spaces.
Motor vehicle repair and normal maintenance	2 spaces, plus 2 spaces for every service bay, with a minimum of 5 spaces. Service bays do not count as parking spaces.
Motor vehicle repair engaged primarily in long-term vehicle restoration projects	2 spaces, plus 1 space for every service bay, with a minimum of 5 spaces. Service bays do not count as parking spaces.
Motor vehicle sales	1 space for each 400 square feet of gross floor area, plus 1 space for each 800 square feet of outdoor display space, but not less than 5 spaces
Motor vehicle washing	
Full-service or automatic	1 space for each 3 employees on the largest shift, plus 600 square feet of drying space for each 20 feet of conveyor length
Self-service or coin-operated	2 spaces for each wash bay. Queuing space may count as parking spaces
Recreational vehicle storage	1 space for each 250 square feet of office gross floor area, but no less than 2 spaces
Service stations (2)	5 spaces, plus additional spaces as required for accessory uses (e.g., mini-markets)
Towing services	1 space for each employee on the largest shift, plus adequate space for temporary parking of towed vehicles, as determined by the director
Truck and/or trailer rentals, sales, and/or services	1 space for each 400 square feet of gross floor area, plus 1 space for each 800 square feet of outdoor display space, but not less than 5 spaces
<i>Public/Semi Public Facility Uses</i>	
Animal shelters	1 space for each 250 square feet of office gross floor area, but no less than 5 spaces
Post offices	1 space for each 250 square feet of gross floor area
Residential Uses	Vehicle Spaces Required
Caretaker/employee housing	1 space for each unit
Retail Trade Uses	Vehicle Spaces Required
Appliance stores	1 space for each 250 square feet of gross floor area
Artist's studios	1 space for each 250 square feet of gross floor area
Bar/liquor establishments (on-site consumption only)	1 space for each 100 square feet of gross floor area, but no less than 10 spaces

TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS

Uses	Vehicle Spaces Required
Building materials stores/yards	1 space for each 250 square feet of indoor display area 1 space for each 1,000 square feet of outdoor display area
Dairy products stores, with drive-in/through	5 spaces
Department stores	1 space for each 250 square feet of gross floor area
Farm equipment, rentals, repairs, and sales	1 space for each 400 square feet of gross floor area
Feed and grain sales	1 space for each 350 square feet of gross floor area
Florists' shops	1 space for each 250 square feet of gross floor area
Furniture/furnishings, rentals, sales, and service stores	1 space for each 250 square feet of gross floor area
Garden centers or plant nurseries	15 spaces, plus 1 additional space for each 1,000 square feet of outdoor sales and/or display area
Grocery stores (not including mini-markets)	1 space for each 225 square feet of gross floor area (including display areas)
Interior decorating or drapery shops	1 space for each 250 square feet of gross floor area
Janitorial sales and service	1 space for each 350 square feet of gross floor area
Mini-markets	1 space for each 250 square feet of gross floor area (including display areas), but not less than 5 spaces.
Outdoor retail sales and activities, as an accessory use	1 space for each 1,000 square feet of outdoor display area
Office equipment/supply stores	1 space for each 250 square feet of gross floor area
Pawn shops	1 space for each 250 square feet of gross floor area
Pool and spas, sales, service, and supplies	1 space for each 350 square feet of gross floor area
<u>Public utility, public works, postal, and support facilities</u>	<u>1 space for each 250 square feet of gross floor area</u>
Restaurants, fast food, with or without drive-through service, or with outdoor seating	1 space for each 200 square feet of gross floor area, but no less than 10 spaces
Restaurants, sit-down	1 space for each 400-125 square feet of gross floor area, but no less than 10 spaces
Restaurant, Take-out or limited seating (10 permanent seats or less)	1 space per 250 square feet of gross floor area, but not less than 8 spaces
Retail stores, general merchandise	1 space for each 250 square feet of gross floor area
Shopping centers (10,000 sq. ft. or more)	1 space for each 225 square feet of gross floor area
Sporting goods stores	1 space for each 250 square feet of gross floor area
Stone, rock, and monument yards	1 space for each 350 square feet of gross floor area

TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS

Uses	Vehicle Spaces Required
Warehouse retail stores	1 space for each 250 square feet of indoor display area; 1 space for each 1,000 square feet of outdoor display area
<i>Service Uses</i>	
Ambulance services	1 space for each employee on the largest shift, plus 1 space for each emergency vehicle parked on the premises
Auction houses	1 space for each 250 square feet of gross floor area
Banks and financial services	1 space for each 250 square feet of gross floor area
Barber or beauty shops	1 space for each 200 square feet of gross floor area
Business support services	1 space for each 250 square feet of gross floor area
Catering services	1 space for each 350 square feet of gross floor area plus 1 space/employee
Check cashing services	1 space for each 250 square feet of gross floor area
Contractor's equipment yards	1 space for each 400 square feet of gross floor area, plus 1 space for each 1,000 square feet of outdoor storage space, but not less than 5 spaces
Construction equipment rentals	1 space for each 500 square feet of indoor display area for the first 10,000 square feet 1 space for each 1,000 square feet of indoor display area over 10,000; 1 space for each 1,000 square feet of outdoor display area
Community care facilities	1/2 space for each bed
Convalescent/rest homes	1 space for every 3 beds
Day care centers (3)	1 space for each employee on the largest shift, plus 1 space for every 10 children for which the facility is licensed
	<u>Childcare facilities which exclusively service the employees of a facility shall require no additional parking</u>
	<u>One loading space shall be provided</u>
Dry cleaning plants	1 space for each 250 square feet of gross office floor area, plus 1 space for each 500 square feet of gross plant floor area
Dry cleaning services, drop-off only	1 space for each 250 square feet of gross floor area, but no less than 5 spaces
Equipment rental establishments	1 space for each 500 square feet of indoor display area for the first 10,000 square feet 1 space for each 1,000 square feet of indoor display area over 10,000; 1 space for each 1,000 square feet of outdoor display area
Hospitals	2 spaces for each bed.

**TABLE 2-14
INDUSTRIAL ZONING DISTRICT PARKING REQUIREMENTS**

Uses	Vehicle Spaces Required
Hotels, motels, or inns	<u>0.75 space for each guest room; 2 spaces for each resident manager or owner</u> 1 space for each guest room, plus ¾ employee on largest shift. Additional spaces as required for accessory uses.
Laundromats, self-service	1 space for each 250 square feet of gross floor area, but no less than 5 spaces
Laboratories	1 space for each 250 square feet of office gross floor area, plus 1 space for each 350 square feet of production area
Medical/dental offices, services, and clinics	1 space for each 200 square feet of gross floor area
Mortuaries	1 space for every 3 fixed seats in the main assembly room; where no fixed seats are provided, 1 space for every 20 square feet in the main assembly room
Offices, professional	1 space for each 250 square feet of gross floor area
Personal services	1 space for each 200 250 square feet of gross floor area
Photo-copy/desktop facilities	1 space for each 250 square feet of gross floor area
Photography studios/supply shops	1 space for each 250 square feet of gross floor area
Printing and publishing	1 space for each 250 square feet of office gross floor area, plus 1 space for each 500 square feet of plant gross floor area
Public utility offices	1 space for each 250 square feet of gross floor area.
Repair/maintenance, consumer products	1 space for each 250 square feet of gross floor area
Sign shops	1 space for each 350 square feet of gross floor area
Storage (mini, personal, and self storage) facilities	1 space for each 250 square feet of office gross floor area, but no less than 12 spaces
Travel agencies	1 space for each 250 square feet of gross floor area
Upholstery shops	1 space for each 350 square feet of gross floor area
Veterinarian services, animal small hospitals	1 space for each 300 square feet of gross floor area excluding animal holding areas.

Notes:

- (1) If the facility is located in California Department of Conservation, Division of Recycling "convenience zone," use of the recycling facility may not reduce available host parking by more than five spaces.
- (2) Pump islands do not count as parking spaces.
- (3) Day care facilities shall pay for a parking study to be conducted by the city or its designee. A parking plan will then be approved by the director for each facility based on this study.

SECTION 4. Subsection 3.14.050 (Development standards for parking) of Section 14 (Off-Street Parking and Loading) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in **bold underline**; deletions in ~~**bold strikethrough**~~):

2. *Compact parking.*

- a. Multi-family residential uses. The total number of compact parking spaces provided shall not exceed 20% of the total number of required spaces.
- b. All other uses. Compact parking spaces shall not be allowed.
- c. **In the Cypress Business Park Specific Plan area, no more than 40 percent of the required parking spaces in retail commercial areas and no more than 30 percent of the required business park areas, shall be design for compact cars.**

SECTION 5. A definition of "Assembly use" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Assembly use. Assembly use shall mean any building, or portion of a building, which has a primary use of congregation purposes, public and/or private gatherings, with a maximum capacity for congregation in the assembly area of more than 40 people (as determined by Building and Safety). For example, and without limitation, assembly use includes a club, lodge, meeting hall, religious facility, auditorium, theater and similar kinds of facilities used for congregation purposes, whether available for public or private use. Unless otherwise specified in the Specific Plan, any use with an assembly area of more than 40 people shall be classified as an assembly use for purposes of applying the standards in the Specific Plan. Uses that accommodate less than 40 people in the assembly area shall be classified according to their respective primary activities.

SECTION 6. A definition of "Distribution center" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Distribution center. A distribution center is a large regionally oriented warehouse that receives products from the manufacturer or suppliers for delivery to wholesale customers, retailers or last mile delivery facilities. Distribution centers typically serve as a central location for multi-tenant inventory and transportation operations. The high volume of in and outbound truck traffic requires larger site area for maneuvering and trailer storage. Distribution centers are typically at least 200,000 square feet, with high clear height and dock high loading and also includes ancillary office uses.

SECTION 7. The definition of "Health/fitness centers" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in **bold underline**; deletions in ~~**bold strikethrough**~~):

Health/fitness centers. **Large-scale f**Fitness facilities, gymnasiums, health and athletic clubs including indoor sauna, spa, or hot tub facilities; handball, indoor tennis, racquetball,

and other indoor sports activities. This does not include boutique gyms, small-scale training facilities or personal training gyms, or the sale of gym equipment. Smaller-scale health/fitness centers are included with Personal Services, General.

SECTION 8. A definition of "Light manufacturing facility" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Light manufacturing facility. A light manufacturing facility is a building or a group of buildings used for the manufacture of goods and typically includes an ancillary office component. The facility may contain specialized equipment, such as production lines and machinery, to create products on a large scale. Light manufacturing facilities can produce and/or assemble a wide range of products, including automobiles, battery technology, aerospace components, electronic devices/components, food products, chemicals, and pharmaceuticals. Research and development is included within light manufacturing. Products manufactured may be warehoused, demonstrated, sold, shipped, and/or tested at the facility. Light manufacturing occurs completely within an enclosed building and is operated in such a way that it does not cause a harmful or annoying impact on adjacent uses. These uses may require tanks or certain process equipment to be located at the exterior of the building due to fire department regulations.

SECTION 9. A definition of "Logistics center/building" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Logistics center/building. A logistics center is a warehouse, typically over 250,000 square feet, which offers storage space and fulfillment services to multiple products and finished consumer goods. It is designed for short-term storage, order processing, and distribution, and typically includes space to store empty trailers and/or shipping containers. Logistics Centers generally offer the service of storing, fulfilling, and shipping customer orders to their final destination. A fulfillment center is the same as a logistics center.

SECTION 10. The definition of "Personal services, general" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in bold underline; deletions in ~~bold strikethrough~~):

Personal services, general. A commercial facility or establishment engaged in providing personal care and grooming services to individuals. This use includes businesses such as hair salons, barbershops, beauty salons, nail salons, spas, tanning salons, home electronics and small appliance repair, boutique gyms, and similar uses as determined by the Planning Director. ~~Establishments providing nonmedical services as a primary use, including:~~

- ◆ ~~Home electronics and small appliance repair~~
- ◆ ~~Laundromats (self-service laundries)~~
- ◆ ~~Nail shops~~
- ◆ ~~Shoe repair shops~~

These uses may also include accessory retail sales of products related to the services provided. These uses do not include body piercing, psychic readers, tattoo parlors, or any of the other uses listed under "Personal services, limited."

SECTION 11. The definition of "Research and development (R&D)" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (~~additions in **bold underline**; deletions in **bold strikethrough**~~):

Research and development (R&D). Refers to the purposeful and systematic investigative activities conducted by individuals, corporations, academic institutions, or other entities to gain knowledge, develop new concepts, techniques, or products, or improve existing technologies. R&D activities encompass a wide range of scientific, technological, or experimental endeavors, including but not limited to, laboratory research, prototype development, testing, analysis, product design, data collection, and simulation. These activities involve the application of specialized knowledge, creativity, and expertise in fields such as science, engineering, medicine, pharmaceuticals, biotechnology, software development, or other relevant disciplines. R&D facilities may include laboratories, experimental spaces, workshops, or offices dedicated to research projects and activities. Indoor facilities for scientific research, and the design, development, and testing of electrical, electronic, magnetic, optical, and mechanical components in advance of product manufacturing, that are not associated with a manufacturing facility on the same site. Includes chemical and biotechnology research and development. Does not include computer software companies, soils and other materials testing laboratories, or medical laboratories.

SECTION 12. A definition of "Small animal hospitals and animal boarding" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Small animal hospitals and animal boarding. A commercial establishment providing veterinary medical care, treatment, and overnight boarding services for small animals, including cats, dogs, and other similar pets. This use permits the operation of veterinary clinics, animal hospitals, and facilities offering medical examinations, surgeries, vaccinations, dental care, and other veterinary services. Additionally, it allows for the temporary housing, care, and boarding of small animals. The use may include kennels and boarding operations for more than four (4) dogs or cats and limited to short-term boarding.

SECTION 13. The definition of "Storage facilities" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby deleted and replaced with a definition of "Storage facilities, indoor" that shall read as follows (additions in **bold underline**; deletions in **bold strikethrough**):

Storage facilities. A structure or group of structures containing generally small, individual, compartmentalized stalls or lockers rented as individual storage spaces and characterized by low parking demand. Also known as "personal or mini-storage."

Storage facilities, indoor. Refers to commercial or industrial spaces specifically designed and designated for the storage of personal or business-related items, possessions, materials, or inventory within an enclosed structure. Indoor storage facilities typically provide secure, climate-controlled, and easily accessible spaces for temporary or long-term depositing and safekeeping of goods, excluding hazardous or dangerous materials. These facilities may include storage units, lockers, or designated areas for storing items such as furniture, household goods, documents, equipment, vehicles, recreational vehicles, or other personal and commercial belongings. Indoor storage facilities may also offer ancillary services like packaging, moving assistance, inventory management, and security features like surveillance systems, access controls, and on-site personnel to ensure the safety and integrity of stored items.

SECTION 14. The definition of "Storage facilities (large scale)" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby amended to read as follows (additions in **bold underline**; deletions in ~~bold strikethrough~~):

Storage facilities (large scale). See "Warehousing, ~~wholesaling, and distribution facilities, primary.~~" Does not include: warehouse, storage, or personal or mini-storage facilities offered for rent or lease to the general public. For these see "Storage facilities."

SECTION 15. A definition of "Storage yards (public)" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Storage yards (public). A facility consisting of temporary storage and parking of vehicles, equipment, goods, or materials, available for public use. This use permits the storage of items such as automobiles, trailers, recreational vehicles (RVs), boats, construction equipment, and other similar items. Public storage yards may include open-air or enclosed spaces, security measures, and provisions for vehicle access. It may also allow for ancillary activities, such as vehicle maintenance, repairs, and related services, subject to compliance with applicable regulations, including zoning, screening, and environmental standards as outlined in the Cypress City Code.

SECTION 16. The definition of "Warehousing, wholesaling, and distribution facilities, incidental" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby deleted as follows:

~~Warehousing, wholesaling, and distribution facilities, incidental. See "Warehousing, wholesaling, and distribution facilities, primary;" however, these facilities are only incidental to a manufacturing facility, and serve only as the warehouse for that facility. These incidental facilities do not exceed 50% of the total gross floor area of the manufacturing facility that it serves.~~

SECTION 17. The definition of "Warehousing, wholesaling, and distribution facilities, primary" in Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code is hereby deleted as follows:

~~Warehousing, wholesaling, and distribution facilities, primary.~~

- ~~1. Warehousing. Warehouse facilities provide for the storage of furniture, household goods, or other commercial goods of any nature. Also includes cold storage.~~

~~Does not include: warehouse, storage, or personal or mini-storage facilities offered for rent or lease to the general public. For these see "Storage facilities."~~

- ~~2. Wholesaling and distribution facilities. Wholesaling and distribution facilities include establishments engaged in selling merchandise to retailers; to industrial, commercial, institutional, farm, or professional business users; or to other wholesalers; or acting as agents or brokers in buying merchandise for or selling merchandise to these persons or companies. Includes the following establishments:~~

- ~~• Agents, merchandise or commodity brokers, and commission merchants~~
- ~~• Assemblers, buyers and associations engaged in the cooperative marketing of farm products~~
- ~~• Merchant wholesalers~~
- ~~• Stores primarily selling electrical, plumbing, heating and air conditioning supplies and equipment~~
- ~~• Similar use as determined by the director~~

SECTION 18. A definition of "Warehouse" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Warehouse. A warehouse is a commercial building or structure that is designed and used primarily for the storage and distribution of goods and materials. Warehouses may include cold storage and storage services. A warehouse is typically a large, open space with high clear usable height under the roof structure, with dock high and grade level loading bays for trucks or other vehicles with minimal obstructions to allow for efficient storage and movement of products. Also includes any interior ancillary office use. A warehouse may be accessory to a manufacturing business located on or off site. Does not include mini-storage facilities offered for rent or lease to the general public.

SECTION 19. A definition of "Wholesaling" is hereby added to Subsection 6.31.020 (Definitions of specialized terms and phrases) of Section 31 (Definitions) of Article 6 (Definitions) of Appendix I (Zoning) of the Cypress City Code in alphabetical order and shall read as follows:

Wholesaling. See "Distribution center."

SECTION 20. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance, or the application thereof to any person or circumstances, is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any other provision or application, and to this end the provisions of this ordinance are declared to be severable. The City Council hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase, part or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, parts or portions thereof be declared invalid or unconstitutional.

SECTION 21. Effective date. This Ordinance shall become effective thirty (30) days from its adoption.

SECTION 22. Certification. The Mayor shall sign and the City Clerk shall certify to the passage of this Ordinance and shall cause the same to be published and posted pursuant to the provisions of law in that regard.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Cypress at a regular meeting held on the ____ day of _____, 2025.

MAYOR OF THE CITY OF CYPRESS

ATTEST:

CITY CLERK OF THE CITY OF CYPRESS

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS

I, ALISHA FARNELL, City Clerk of the City of Cypress, DO HEREBY CERTIFY that the foregoing Ordinance was duly adopted at a regular meeting of said City Council held on the ____ day of _____, 2025, by the following roll call vote:

AYES:	COUNCIL MEMBERS:
NOES:	COUNCIL MEMBERS:
ABSENT:	COUNCIL MEMBERS:
ABSTAIN:	COUNCIL MEMBERS:

CITY CLERK OF THE CITY OF CYPRESS

ORDINANCE NO. ____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CYPRESS, CALIFORNIA REPEALING THE LUSK-CYPRESS INDUSTRIAL PARK SPECIFIC PLAN, CYPRESS CORPORATE CENTER MASTER PLAN, CYPRESS CORPORATE CENTER AMENDED SPECIFIC PLAN, MCDONNELL CENTER AMENDED SPECIFIC PLAN, CYPRESS VIEW LIMITED SPECIFIC PLAN, ~~AMENDED AND RESTATED CYPRESS BUSINESS AND PROFESSIONAL CENTER SPECIFIC PLAN, AND CYPRESS BUSINESS AND PROFESSIONAL CENTER SPECIFIC PLAN~~ AMENDMENT 19-1 AND ADOPTING THE CYPRESS BUSINESS PARK SPECIFIC PLAN

WHEREAS, the City Council desires to integrate and modernize five of the Cypress Business Parks specific plans (excluding the Warland/Cypress Business Center Specific Plan and Cypress Town Center and Commons 3.0 Specific Plan) through the adoption of a single, comprehensive Cypress Business Park Specific Plan ("Project"); and

WHEREAS, the Project requires the following to be approved by the City Council: an ordinance repealing the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1 and adopting the Cypress Business Park Specific Plan; a Resolution amending the Land Use Element and Land Use Policy Map of the City of Cypress General Plan to remove references to repealed Specific Plans and replace them with references to the Cypress Business Park Specific Plan; an ordinance amending Subsections 2.06.050 (Commercial off-street parking requirements), 2.07.050 (Industrial off-street parking requirements), 3.14.050 (Development standards for parking), and 6.31.020 (Definitions of specialized terms and phrases) of Appendix I (Zoning) of the Cypress City Code to update off-street parking requirements and definitions pertaining to business park uses; and an Initial Study/Negative Declaration ("IS/ND"); and

WHEREAS, the Cypress Business Park Specific Plan area encompasses the planning area of five existing Specific Plan documents and associated amendments (i.e., the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan and associated Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, and Amended and Restated Cypress Business and Professional Center Specific Plan and associated Cypress Business and Professional Center Specific Plan Amendment 19-1). Therefore, repealing the five existing plans and associated amendments is necessary for adoption of the Cypress Business Park Specific Plan; and

WHEREAS, the City Council finds that the Project is consistent with the following General Plan Land Use Element Goals: LU-10, to "carefully regulate future development in the Business Park to ensure the current high quality environment is maintained"; LU-14, to "attract high quality businesses to Commercial and Business Park areas"; LU-15, to "retain and facilitate the expansion of businesses throughout the City"; and, LU-16, to "continue to diversify the Cypress Business Park to maintain its competitiveness"; and the Project furthers these goals by providing a comprehensive and modernized plan for 439 acres of the Cypress Business Park that addresses current and projected economic conditions and land uses, streamlines approval processes, and provides updated development and performance standards that serves to attract new businesses and maintain the high-quality environment of the Business Park; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA), an Initial Study/ Negative Declaration (IS/ND) was prepared for the proposed project and released to the public on _____, 2025, for a 20-day review period. All required notifications were provided pursuant to CEQA (Public Resources Code Section 21092.5) and all comment letters were incorporated into the Final IS/ND; and

WHEREAS, on _____, 2025, the City Council held a duly noticed public hearing and considered testimony on the Ordinance.

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF CYPRESS DOES ORDAIN AS FOLLOWS:

SECTION 1. The City Council hereby specifically finds that all of the facts set forth in the above Recitals are true and correct and are incorporated herein as findings of the City Council.

SECTION 2. CEQA. The City Council confirms that it has reviewed and considered the Final IS/ND and Mitigation Monitoring and Reporting Program (MMRP) for the Project. The IS/ND and MMRP have been prepared, noticed, and are hereby adopted according to the requirements of the California Environmental Quality Act.

SECTION 3. Repeal. The City Council hereby repeals the Lusk-Cypress Industrial Park Specific Plan, Cypress Corporate Center Master Plan, Cypress Corporate Center Amended Specific Plan, McDonnell Center Amended Specific Plan, Cypress View Limited Specific Plan, Amended and Restated Cypress Business and Professional Center Specific Plan, and Cypress Business and Professional Center Specific Plan Amendment 19-1.

SECTION 4. Adoption. The City Council hereby adopts the Cypress Business Park Specific Plan to replace the repealed specific plans. The Cypress Business Park Specific Plan is included in its entirety in Exhibit "A".

SECTION 5. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance, or the application thereof to any person or circumstances, is, for any reason, held invalid or unconstitutional by any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any other provision or application, and to this end the provisions of this ordinance are declared to be severable. The City Council hereby declares that it would have adopted this ordinance and each section, subsection, sentence, clause, phrase, part or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, parts or portions thereof be declared invalid or unconstitutional.

SECTION 6. Effective date. This Ordinance shall become effective thirty (30) days from its adoption.

SECTION 7. Certification. The Mayor shall sign and the City Clerk shall certify to the passage of this Ordinance and shall cause the same to be published and posted pursuant to the provisions of law in that regard.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Cypress at a regular meeting held on the ___ day of _____, 2025.

MAYOR OF THE CITY OF CYPRESS

ATTEST:

CITY CLERK OF THE CITY OF CYPRESS

RECEIVED
CITY OF CYPRESS
CLERK'S OFFICE
JAN 11 2011

STATE OF CALIFORNIA }
COUNTY OF ORANGE } SS

I, ALISHA FARNELL, City Clerk of the City of Cypress, DO HEREBY CERTIFY that the foregoing Ordinance was duly adopted at a regular meeting of said City Council held on the ____ day of _____, 2025, by the following roll call vote:

AYES: COUNCIL MEMBERS:
NOES: COUNCIL MEMBERS:
ABSENT: COUNCIL MEMBERS:
ABSTAIN: COUNCIL MEMBERS:

CITY CLERK OF THE CITY OF CYPRESS